

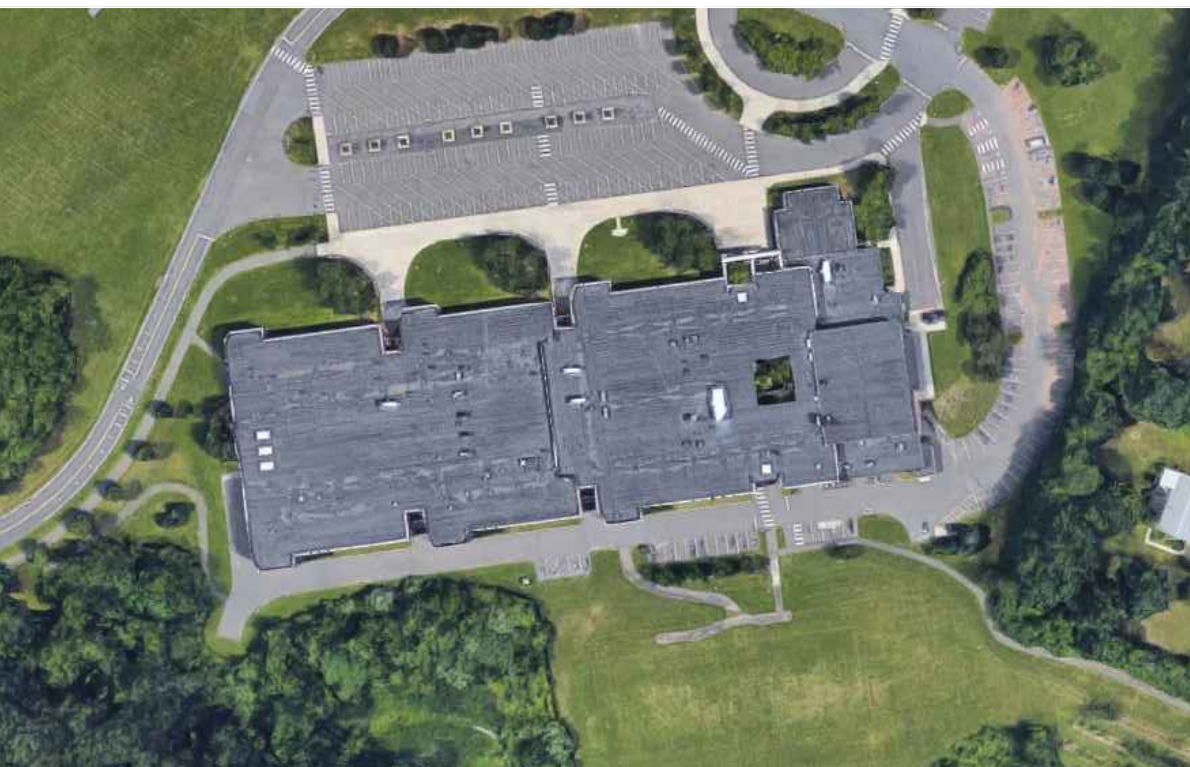
**ROOF REPLACEMENT
FOR
TIMOTHY EDWARDS MIDDLE SCHOOL**

100 ARNOLD WAY
SOUTH WINDSOR CT

PREPARED FOR THE
TOWN OF SOUTH WINDSOR, CT



SITE MAP



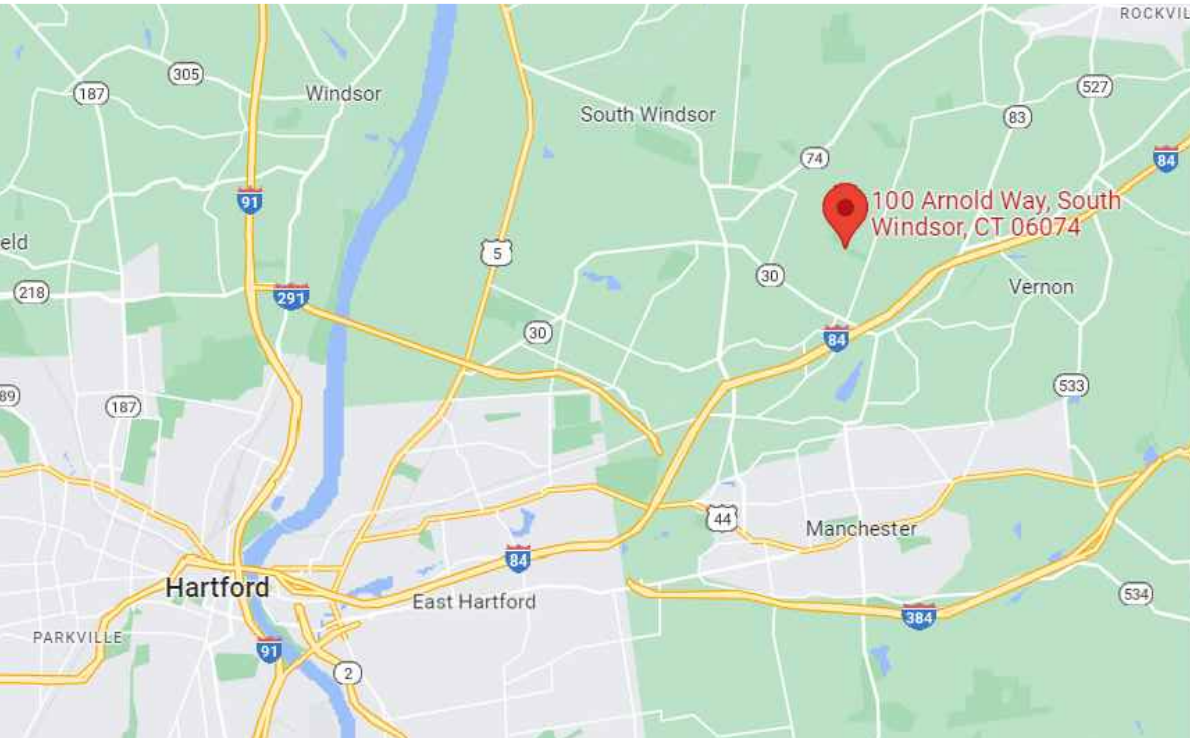
PREPARED BY
HIBBARD & ROSA ARCHITECTS, L.L.C.
100 RIVERVIEW CENTER, SUITE 272
292 MAIN STREET
MIDDLETOWN, CONNECTICUT 06457

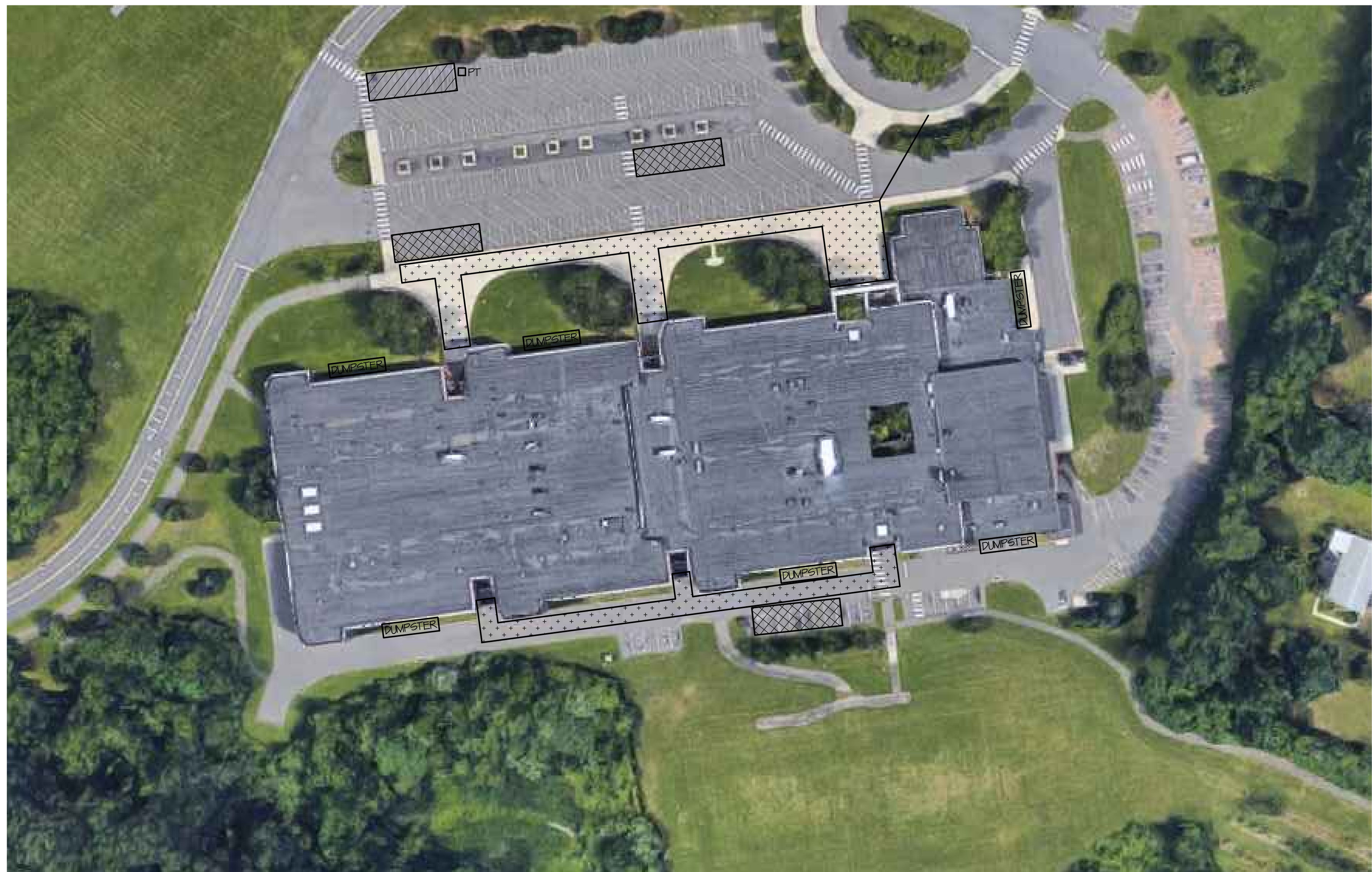
LIST OF DRAWINGS

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NOVEMBER 29, 2022
COMM. NO. 2021-23
PROJECT NO. 132-0094 RR
PHASE 1 OF 1

LOCATION MAP





① SCHEMATIC ROOF PLAN
1/8" = 1'-0"

LEGEND

- CONTRACTOR PARKING
- LAYDOWN AREA FOR CONSTRUCTION MATERIALS
- DUMPSTER LOCATION
- PORTABLE TOILET LOCATION
- EGRESS PATH (TO BE KEPT CLEAR AT ALL TIMES)

GENERAL NOTES - SITE

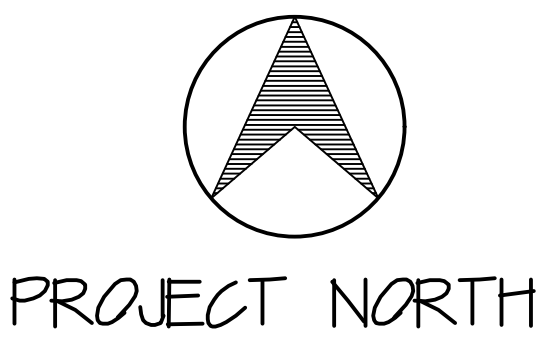
- THE CONTRACTOR SHALL CONFINE MOVEMENTS ON THE OWNERS PROPERTY TO AREAS DESIGNATED ON THE SITE PLAN AND AS DESIGNATED AT THE PRE-CONSTRUCTION MEETING.
- CONTRACTOR SHALL COORDINATE FINAL LOCATION OF CONTRACTOR PARKING, MATERIAL LAYDOWN AREAS, DUMPSTER LOCATIONS ETC WITH OWNERS REPRESENTATIVE.
- CONTRACTOR SHALL TAKE CARE TO ENSURE ALL MATERIALS, EQUIPMENT AND DUMPSTERS ARE SECURE AT THE END OF THE DAY.
- CONTRACTOR SHALL NOT BLOCK EGRESS PATHS AT ANY TIME. ANY VEHICLES OR EQUIPMENT OPERATING IN A FIRE LANE WILL BE LEFT RUNNING AND MANNED AT ALL TIMES.
- THE PORTABLE TOILET WILL BE EMPTIED AND SANITIZED A MINIMUM OF ONCE A WEEK, AND MORE FREQUENTLY IF REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR/REPLACE ALL DAMAGED AREAS CONCRETE OR ASPHALT CURBING AND ASSOCIATED CURBING.
- CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR/REPLACE ALL DAMAGED LAWN AREAS AND DAMAGED PLANTINGS.

ROOF REPLACEMENT
TIMOTHY EDWARDS MIDDLE SCHOOL
100 ARNOLD WAY
SOUTH WINDSOR, CT

HRA
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SUITE 312
MIDDLETOWN, CT
PHONE: (860) 346-1809
EMAIL: hrr@hrra.biz



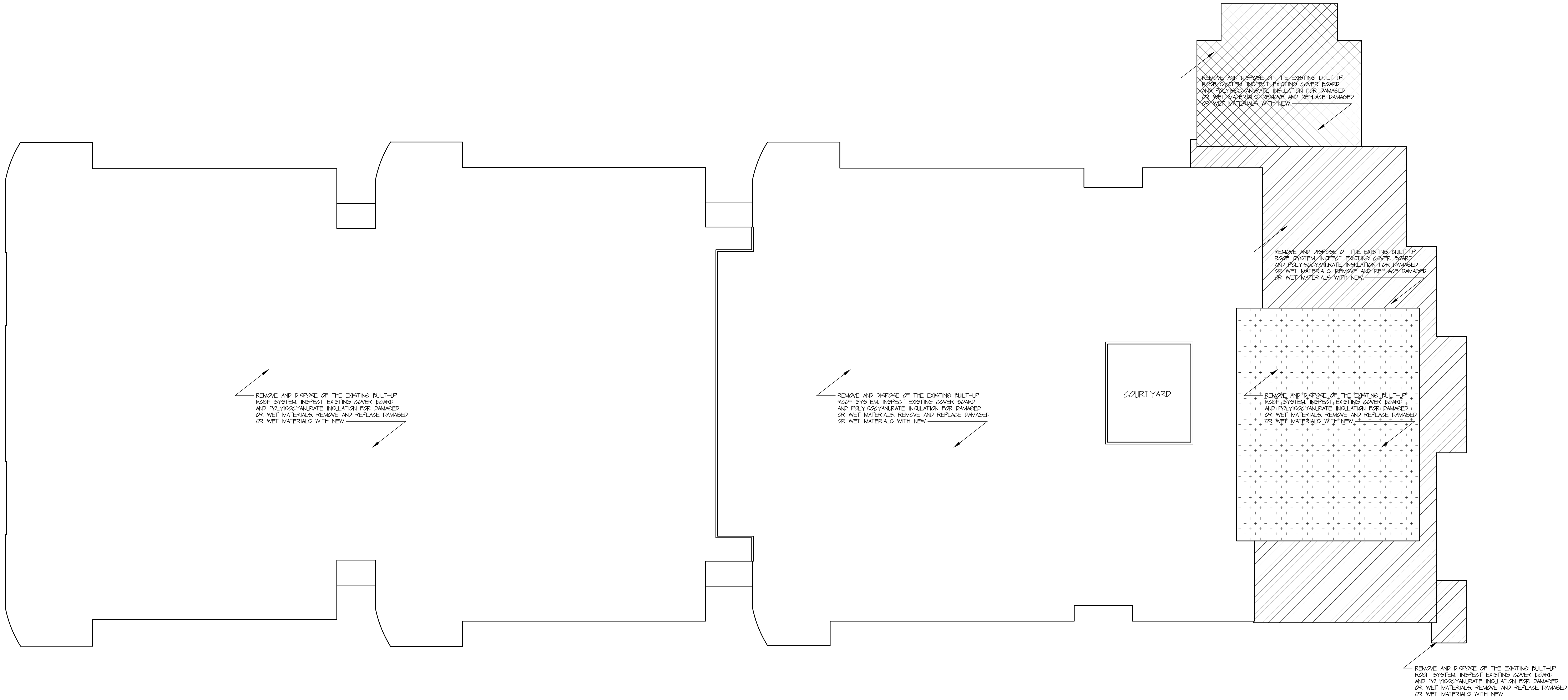
SCHEMATIC SITE PLAN



DATE: 11-29-2022
STATE: CT
PROJECT # 102-0034 RR

COM. # 2021-23
SCALE: 1/8" = 1'-0"

S-1
SHEET



GENERAL NOTES – ROOF

1. CONTRACTOR SHALL TAKE AND VERIFY ALL DIMENSIONS IN THE FIELD, AND SHALL BE HELD RESPONSIBLE FOR THE SAME.
2. CONTRACTOR SHALL TAKE AND VERIFY ALL FIELD CONDITIONS PRIOR TO BEGINNING ANY WORK AND NOTIFY OWNER OF ANY DISCREPANCIES.
3. CONTRACTOR SHALL REMOVE THE EXISTING ROOF SYSTEMS AS DESCRIBED IN DEMOLITION PLAN, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS. ALL EXISTING ROOF SYSTEMS WILL BE REMOVED DOWN TO THE EXISTING ROOF DECKS.
4. DEMOLITION OF THE ROOF SYSTEM SHALL INCLUDE ALL FLASHINGS, FLASHING COPING AND ASSOCIATED COMPONENTS.
5. DEMOLITION SHALL INCLUDE THE REMOVAL OF THE EXISTING ROOF DRAIN ASSEMBLIES AND ASSOCIATED COMPONENTS AS REQUIRED FOR THE INSTALLATION OF NEW ROOF DRAINS.
6. IN THE EVENT ANY UNDOCUMENTED HAZARDOUS MATERIALS ARE FOUND DURING DEMOLITION THE CONTRACTOR SHALL STOP WORK IN THE AREA AND NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.

1 DEMOLITION PLAN
1/8" = 1'-0"

LEGEND

- | | |
|--|------------------|
| | BASE BID |
| | ADD ALTERNATE #1 |
| | ADD ALTERNATE #2 |
| | ADD ALTERNATE #3 |

ROOF REPLACEMENT
TIMOTHY EDWARDS MIDDLE SCHOOL
100 ARNOLD WAY
SOUTH WINDSOR, CT

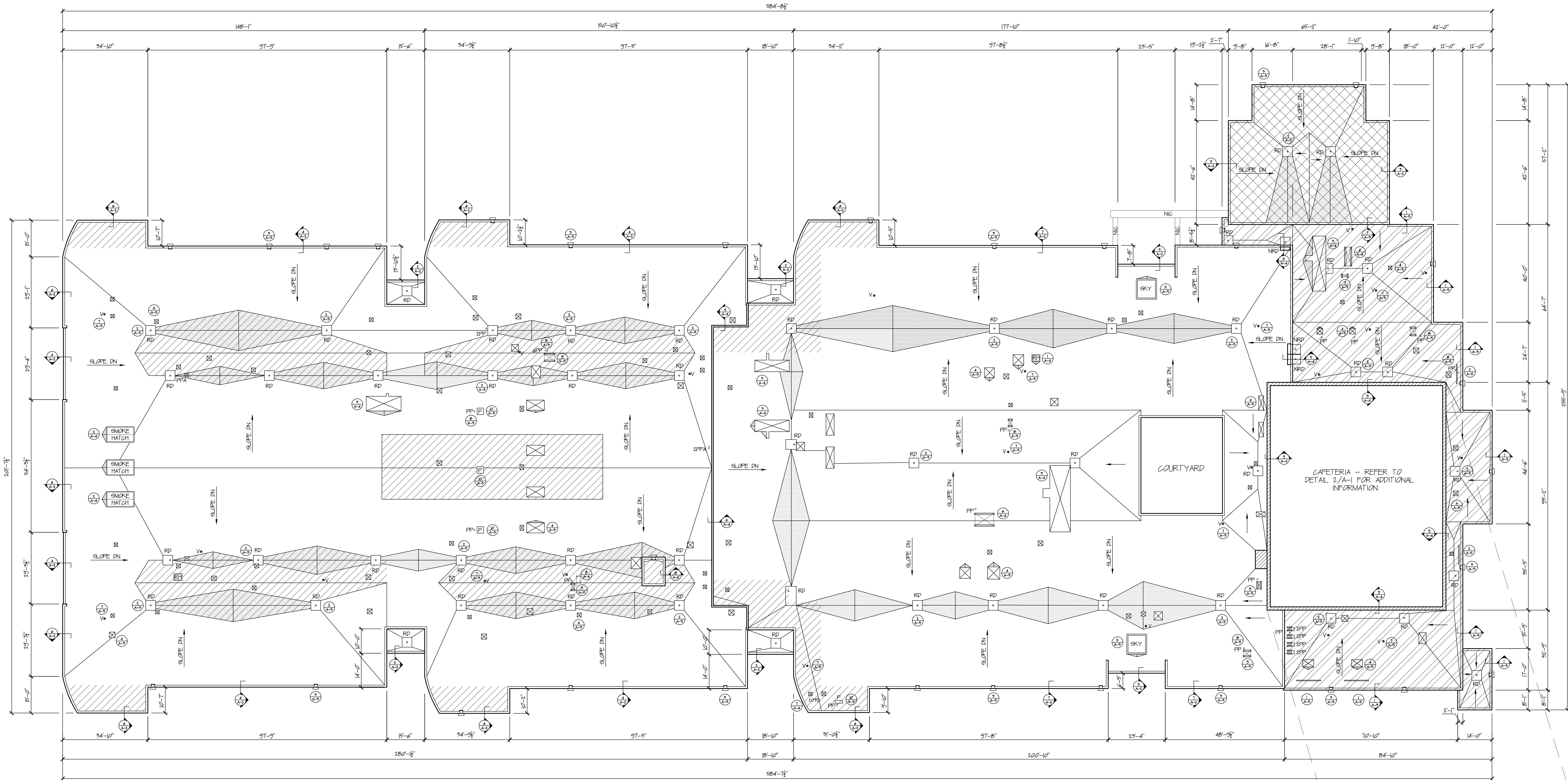


DEMOLITION PLAN

DATE: 11-29-2022
STATE PROJ. #: DS-0034 RR
REVISED:

COM. # 2021-23
SCALE: 1/8" = 1'-0"

D-1
SHEET

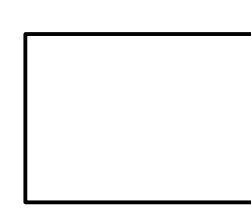


1 ROOF PLAN
1/8" = 1'-0"

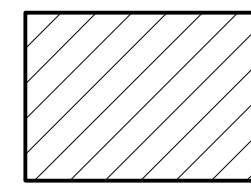
GENERAL NOTES - ROOF

- CONTRACTOR SHALL TAKE AND VERIFY ALL DIMENSIONS IN THE FIELD, AND SHALL BE HELD RESPONSIBLE FOR THE SAME.
- CONTRACTOR SHALL TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK AND NOTIFY OWNER OF ANY DISCREPANCIES.
- CONTRACTOR SHOULD FULLY UNDERSTAND THAT THE WORK INCLUDES THE USE OF A MANUFACTURER'S CERTIFIED/PROVED INSTALLERS IN ORDER TO OBTAIN LONG TERM MANUFACTURER'S GUARANTEE.
- THE DIVISION OF WORK AMONG THE VARIOUS TRADES OR SUBCONTRACTORS (IF ANY) NECESSARY AND THE COORDINATING OF THE TOTAL WORK IS THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL CONFINE MOVEMENTS ON THE OWNERS PROPERTY TO AREAS DESIGNATED ON THE SITE PLAN AND AS DESIGNATED AT THE PRE-CONSTRUCTION MEETING.
- FASTENERS ARE MECHANICAL FASTENERS OR AS INDICATED. FASTENERS USED IN THE WORK ARE TO PROVIDE 1 1/2" PENETRATION INTO THE SUBSTRATE OR AS REQUIRED BY THE FASTENER MANUFACTURER.
- FLASHINGS ARE TO BE INSTALLED IN A WATER-SHOEDING FASHION.
- PROVIDE PROPER TYPE CAULKING/SEALANT IN ALL AREAS INDICATED ON DRAWINGS AND AS REQUIRED FOR A WATERTIGHT ROOF.
- WHERE THE WORD "EXISTING" APPEARS WITH DESCRIPTIONS, NOTATIONS, DIRECTION, EXPLANATIONS, REQUIREMENTS, ETC., THROUGHOUT THE DRAWINGS AND SPECIFICATIONS, SUCH AS "EXISTING METAL DECK," "EXISTING BRICK WALL," THE REFERRED TO ITEM OR ITEMS OF WORK SHALL BE UNDERSTOOD AS MEANING WORK TO:
 - REMAIN IN PLACE WITHOUT MAJOR CHANGES, BUT SHALL INCLUDE ALL OTHER CHANGES, ADJUSTMENTS, REQUIREMENTS, ETC., NECESSARY FOR THE ITEMS OF WORK TO BE PROPERLY INTEGRATED INTO AND COMBINED WITH THE NEW AND EXISTING SPECIFIED WORK IN THE CONTRACT, OR;
 - REMOVED, DISPOSED OF AND/OR REINSTALLED INCLUDING ALL CHANGES, ADJUSTMENTS, REQUIREMENTS, ETC., NECESSARY FOR THE ITEMS OF WORK TO BE PROPERLY REMOVED, CHANGED, ADJUSTED, AND PROPERLY INTEGRATED AND COMBINED WITH NEW AND EXISTING WORK SPECIFIED IN THE CONTRACT.EXCEPT AS SPECIFIED ABOVE, ALL OTHER DESCRIPTIONS, NOTATIONS, DIRECTION, EXPLANATIONS, REQUIREMENTS, ETC., THROUGHOUT THE DRAWINGS AND SPECIFICATIONS, SUCH AS "BUILT-UP ROOF SYSTEM," "METAL BASE FLASHING," "BUILT-UP ROOF SYSTEM," "NEW METAL BASE FLASHING," SHALL BE UNDERSTOOD AS MEANING ALL REQUIREMENTS OF ALL WORK UNDER THE CONTRACT.
- IN THE EVENT OF CONFLICT BETWEEN APPLICABLE CODES AND REGULATIONS AND THE STANDARDS OF THE CONTRACT DOCUMENTS, THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- ALL NOTES AND DIMENSIONS DESIGNATED AS TYPICAL (TYP) APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE DRAWINGS.
- REMOVE AND REINSTALL MISCELLANEOUS ITEMS FOUND ON THE ROOF WHICH WILL STANDARDS OF INTERFERENCE WITH THE INSTALLATION OF THE NEW ROOF. PROVIDE ALL FLASHINGS, PITCH POCKETS, ETC., REQUIRED FOR A WATERTIGHT ROOF.

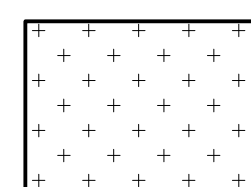
LEGEND



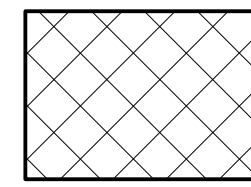
MODIFIED CAP SHEET WITH MINERAL SURFACE SET IN TYPE III ASPHALT ON FLEXBASE 80 SET IN TYPE III ASPHALT ON 1/2" FIBER BOARD ON NEW 2" POLYISOCYANURATE INSULATION SET IN TYPE III ASPHALT ON EXISTING 1/2" FIBER BOARD ON EXISTING 5" POLYISOCYANURATE INSULATION FASTENED TO SLOPED METAL ROOF DECK (1/4" PER FT.) REPLACE DAMAGED/DETERIORATED EXISTING FIBER BOARD AND/OR POLYISOCYANURATE INSULATION WITH NEW.



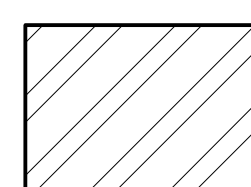
LOCATIONS WHERE 1/4" PER FT. TAPERED POLYISOCYANURATE INSULATION IS INSTALLED ON TOP OF FLAT STOCK INSULATION.



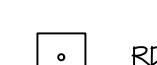
ADD ALTERNATE #1
MODIFIED CAP SHEET WITH MINERAL SURFACE SET IN TYPE III ASPHALT ON FLEXBASE 80 SET IN TYPE III ASPHALT ON 1/2" FIBER BOARD ON NEW 2" POLYISOCYANURATE INSULATION SET IN TYPE III ASPHALT ON EXISTING 1/2" FIBER BOARD ON EXISTING 5" POLYISOCYANURATE INSULATION FASTENED TO SLOPED METAL ROOF DECK (1/4" PER FT.) REPLACE DAMAGED/DETERIORATED EXISTING FIBER BOARD AND/OR POLYISOCYANURATE INSULATION WITH NEW. AN AREA OF 7,241 SF.



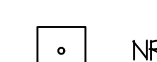
ADD ALTERNATE #2
MODIFIED CAP SHEET WITH MINERAL SURFACE SET IN TYPE III ASPHALT ON FLEXBASE 80 SET IN TYPE III ASPHALT ON 1/2" FIBER BOARD ON NEW 2" POLYISOCYANURATE INSULATION SET IN TYPE III ASPHALT ON EXISTING 1/2" FIBER BOARD ON EXISTING 5" POLYISOCYANURATE INSULATION FASTENED TO SLOPED METAL ROOF DECK (1/4" PER FT.) REPLACE DAMAGED/DETERIORATED EXISTING FIBER BOARD AND/OR POLYISOCYANURATE INSULATION WITH NEW. AN AREA OF 8,219 SF.



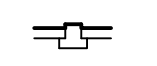
ADD ALTERNATE #3
MODIFIED CAP SHEET WITH MINERAL SURFACE SET IN TYPE III ASPHALT ON FLEXBASE 80 SET IN TYPE III ASPHALT ON 1/2" FIBER BOARD ON NEW 2" POLYISOCYANURATE INSULATION SET IN TYPE III ASPHALT ON EXISTING 1/2" FIBER BOARD ON EXISTING 5" POLYISOCYANURATE INSULATION FASTENED TO SLOPED METAL ROOF DECK (1/4" PER FT.) REPLACE DAMAGED/DETERIORATED EXISTING FIBER BOARD AND/OR POLYISOCYANURATE INSULATION WITH NEW. AN AREA OF 8,219 SF.



EXISTING ROOF DRAIN TO BE REMOVED.



INSTALL NEW ROOF DRAIN ASSEMBLY AND ALL ASSOCIATED PIPING/COMPONENTS.



OVERFLOW SCUPPER



MECHANICAL UNIT



PLUMBING VENT



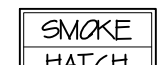
PITCH POCKET



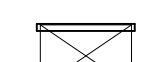
MECHANICAL UNIT ON PAD



MECHANICAL UNIT ON DUNNAGE



HEAT STACK



ROOF HATCH



SMOKE HATCH



REMOVE PITCH POCKET - REMOVE



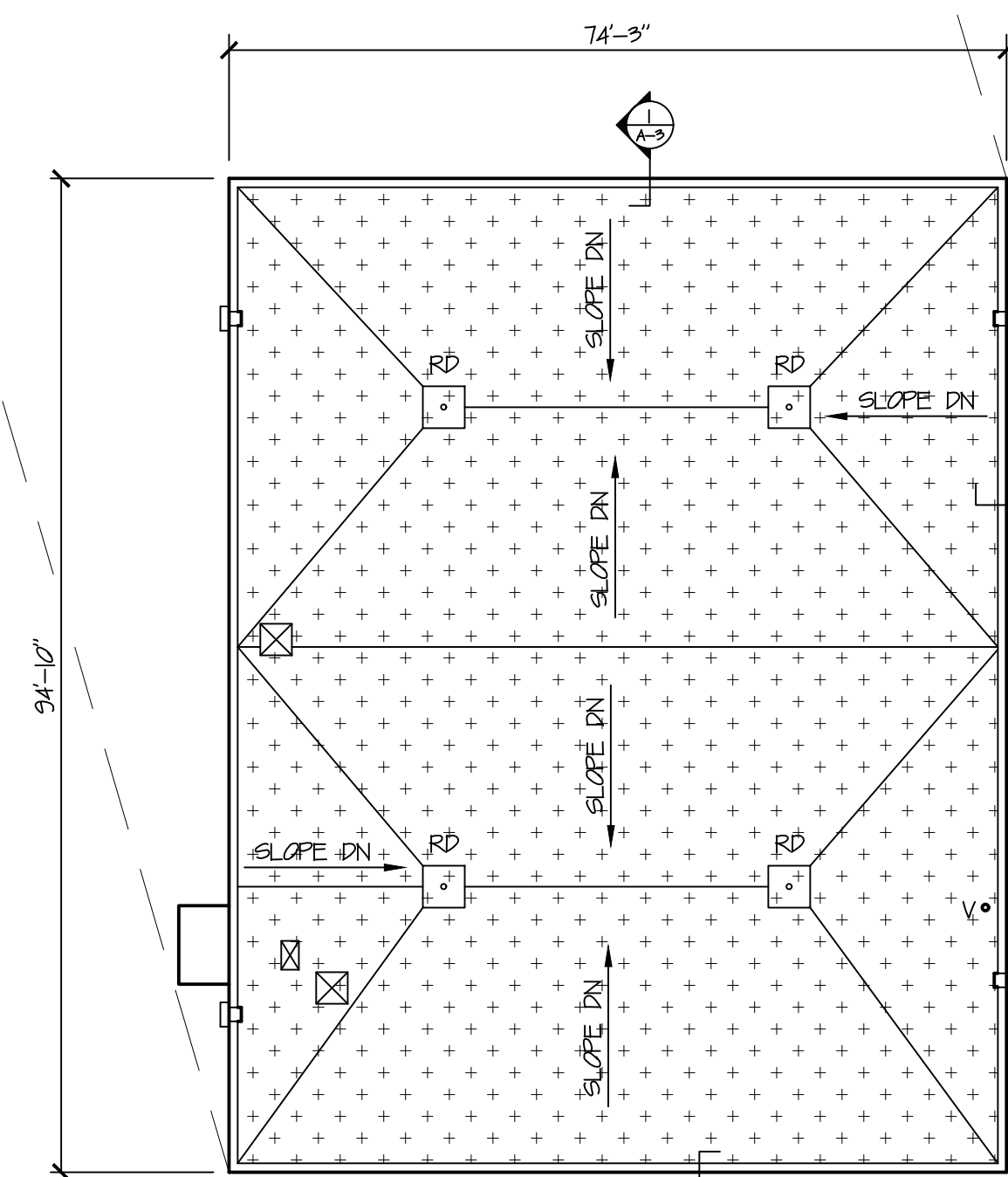
CRICKET (SLOPE: 1/2" PER FT.)



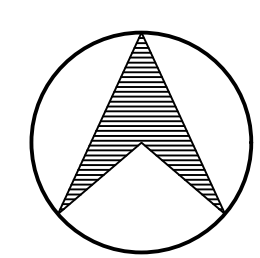
SECTION MARK



DETAIL BUTTON



2 PARTIAL ROOF PLAN - CAFETERIA
1/8" = 1'-0"



PROJECT NORTH

ROOF REPLACEMENT
TIMOTHY EDWARDS MIDDLE SCHOOL
100 ARNOLD WAY
SOUTH WINDSOR, CT



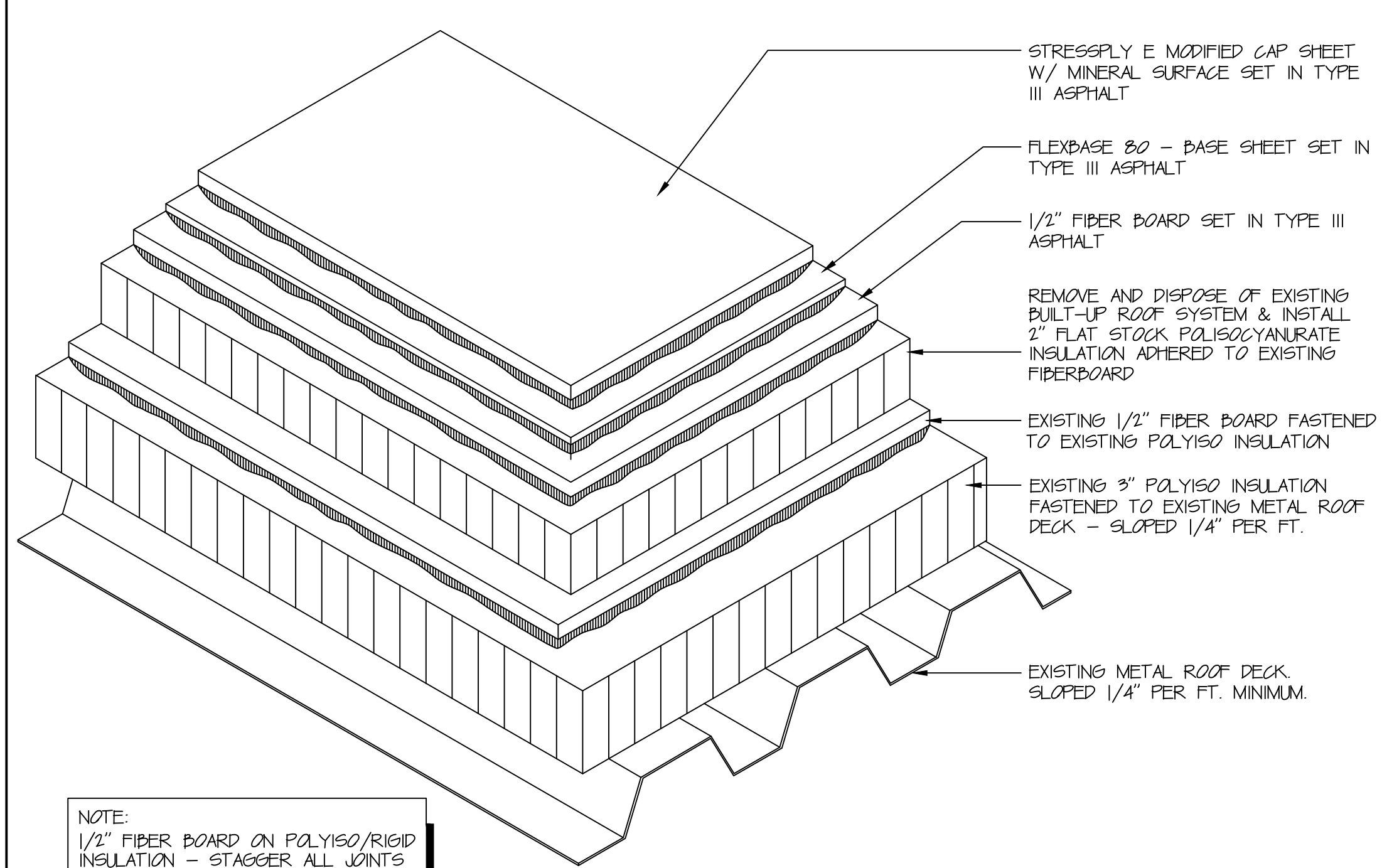
ROOF PLAN

DATE: 11-29-2022
STATE PROJ # 19-0034 RR
REVISED:

COM # 2021-23
SCALE: 1/8" = 1'-0"

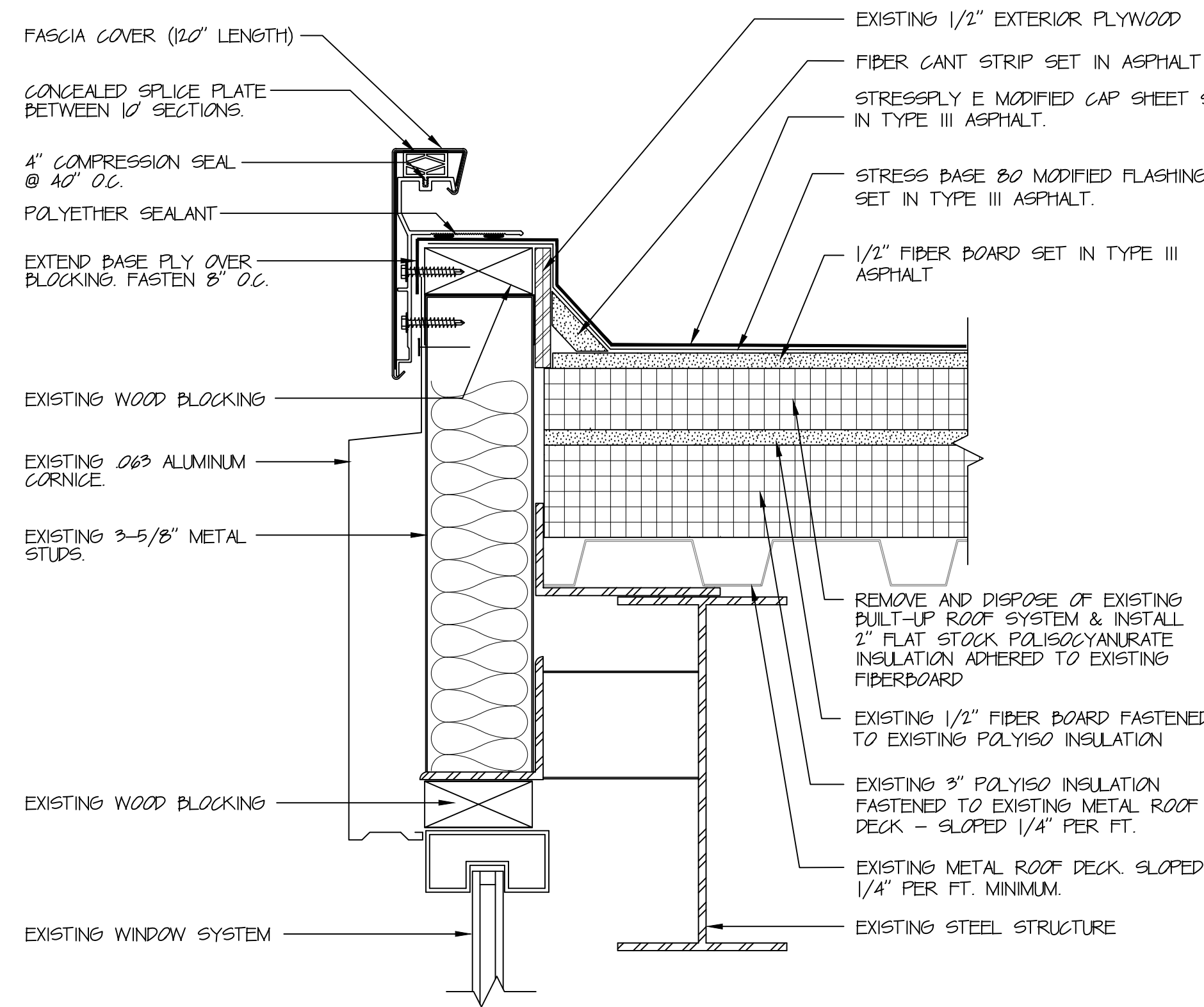
A-1

SHEET

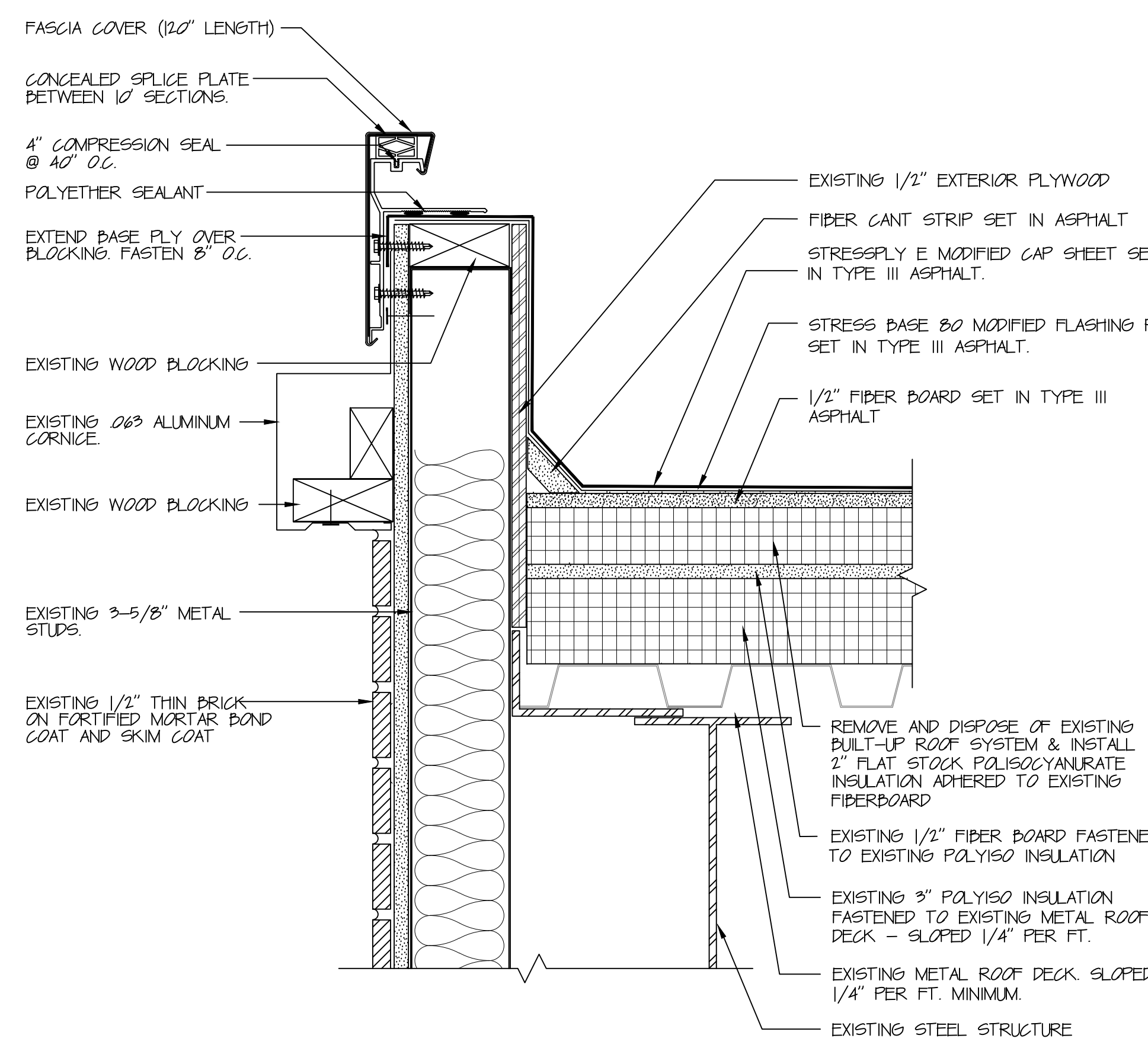


NOTE:
1/2" FIBER BOARD ON POLYISO/RESID
INSULATION - STAGGER ALL JOINTS
ADHERE IN PLACE ALL INSULATION
ACCORDING TO SPECIFICATION

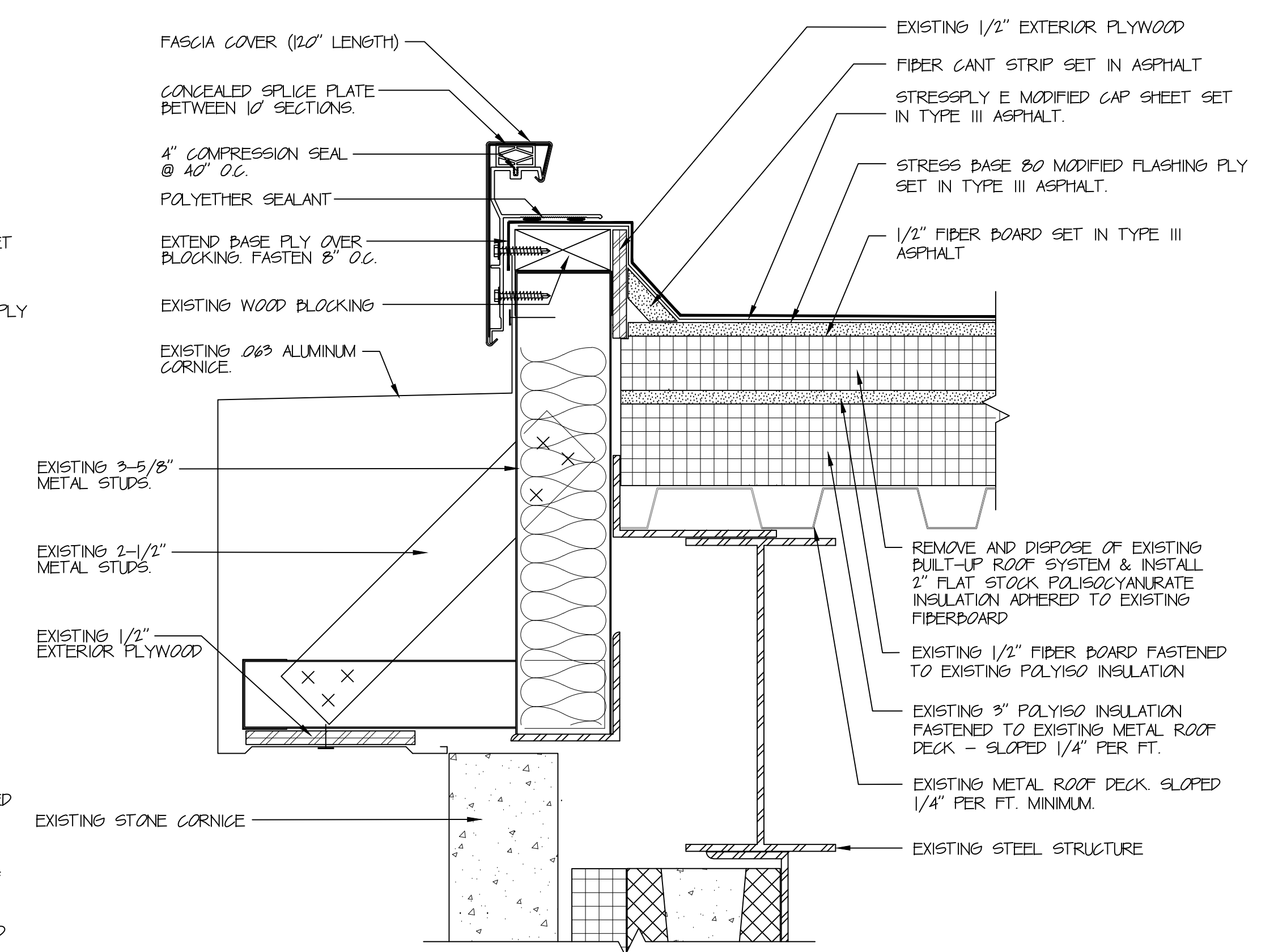
1 TYPICAL 2 PLY MODIFIED ROOF ON
METAL DECK (SLOPED 1/4" PER FT)



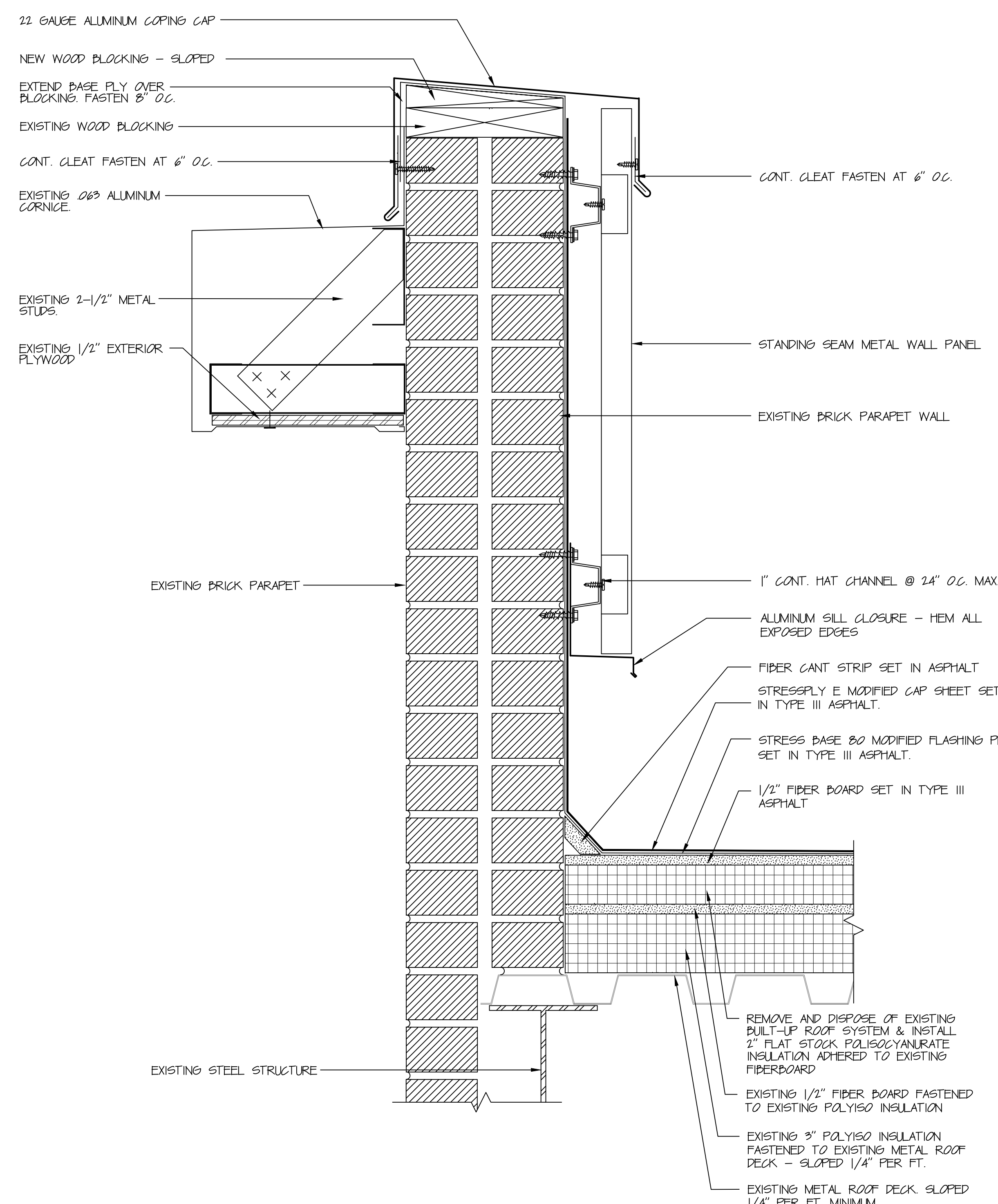
2 ROOF EDGE/FASCIA DETAIL
3" = 1'-0"



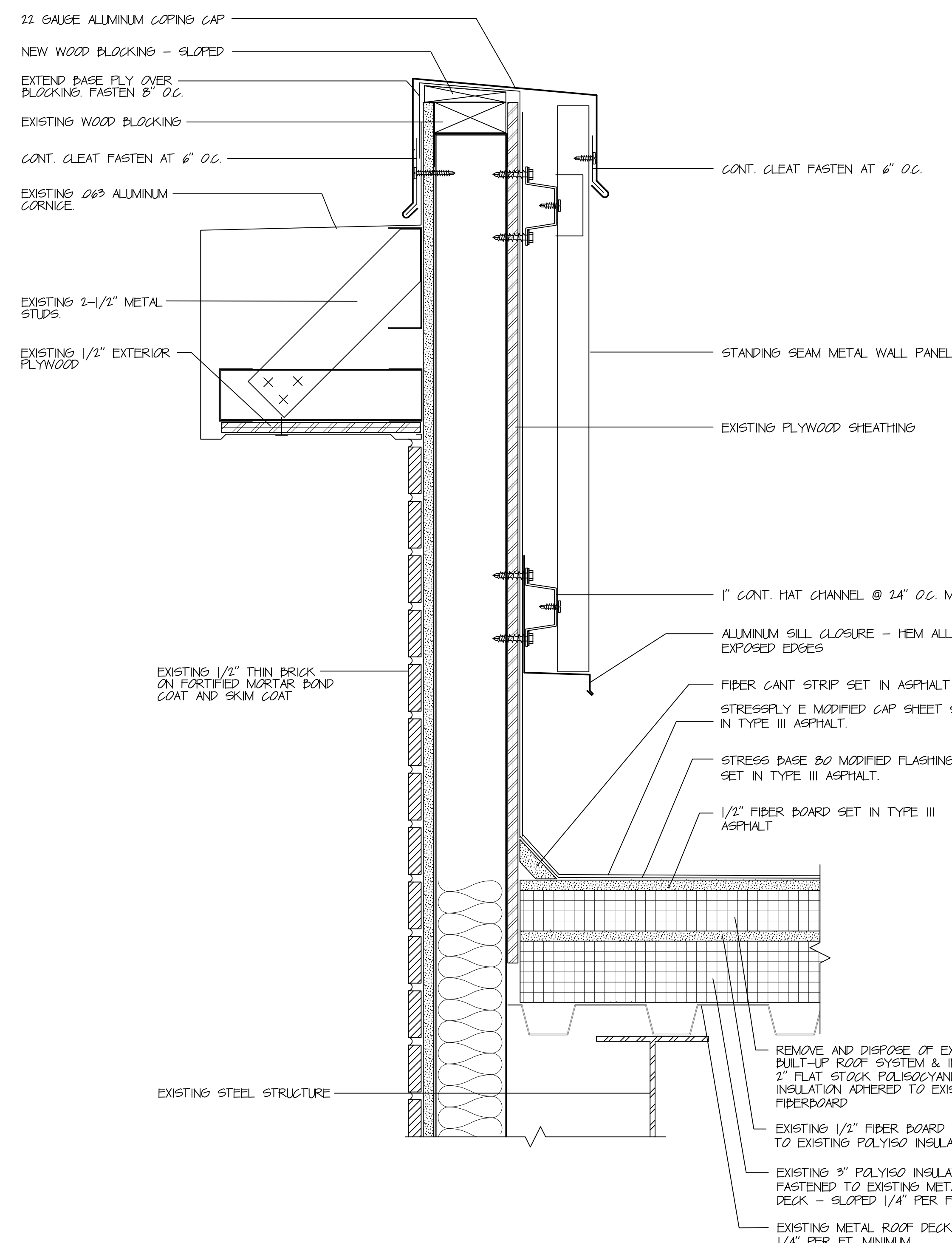
3 ROOF EDGE/FASCIA DETAIL
3" = 1'-0"



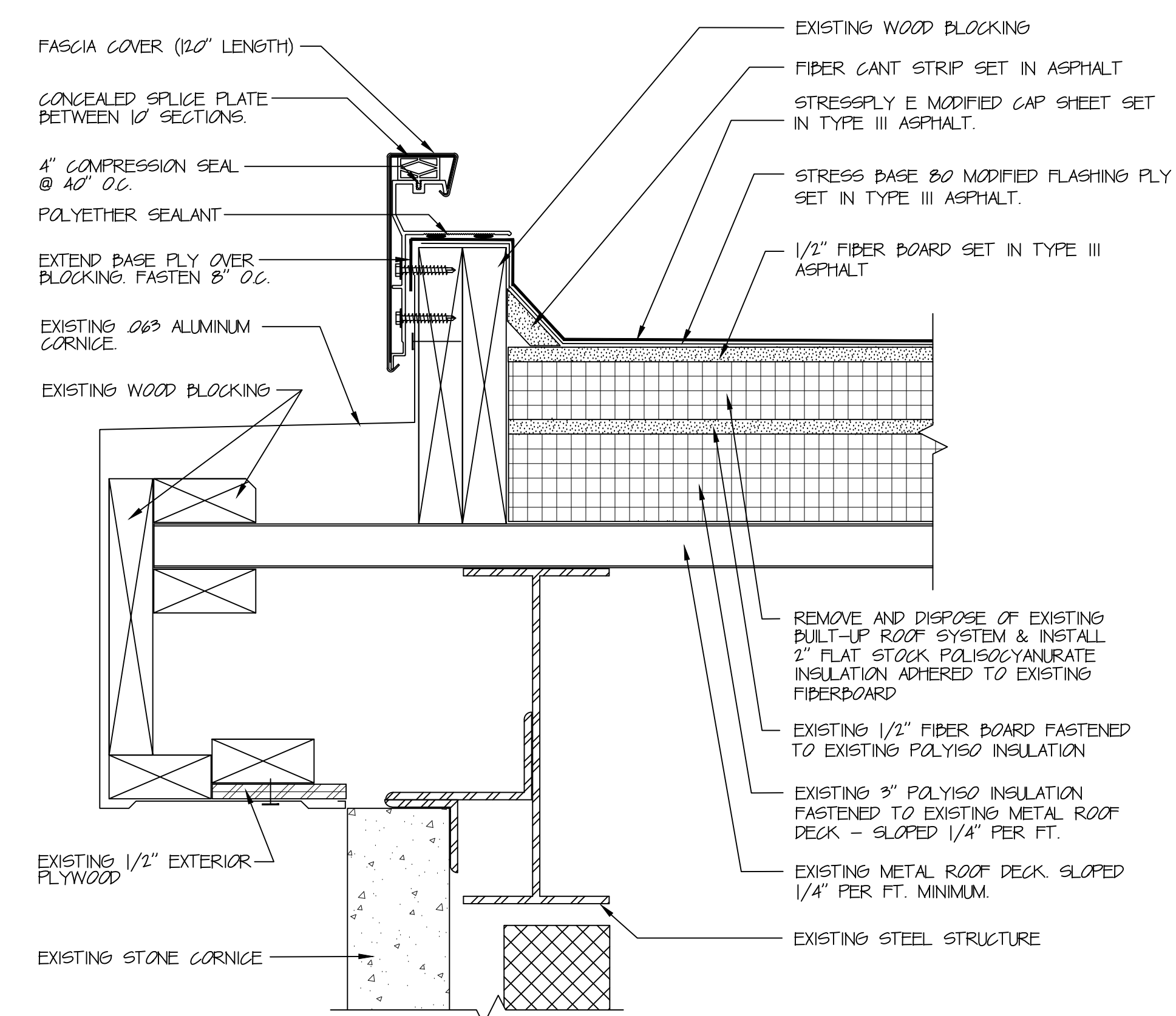
4 ROOF EDGE/FASCIA DETAIL
3" = 1'-0"



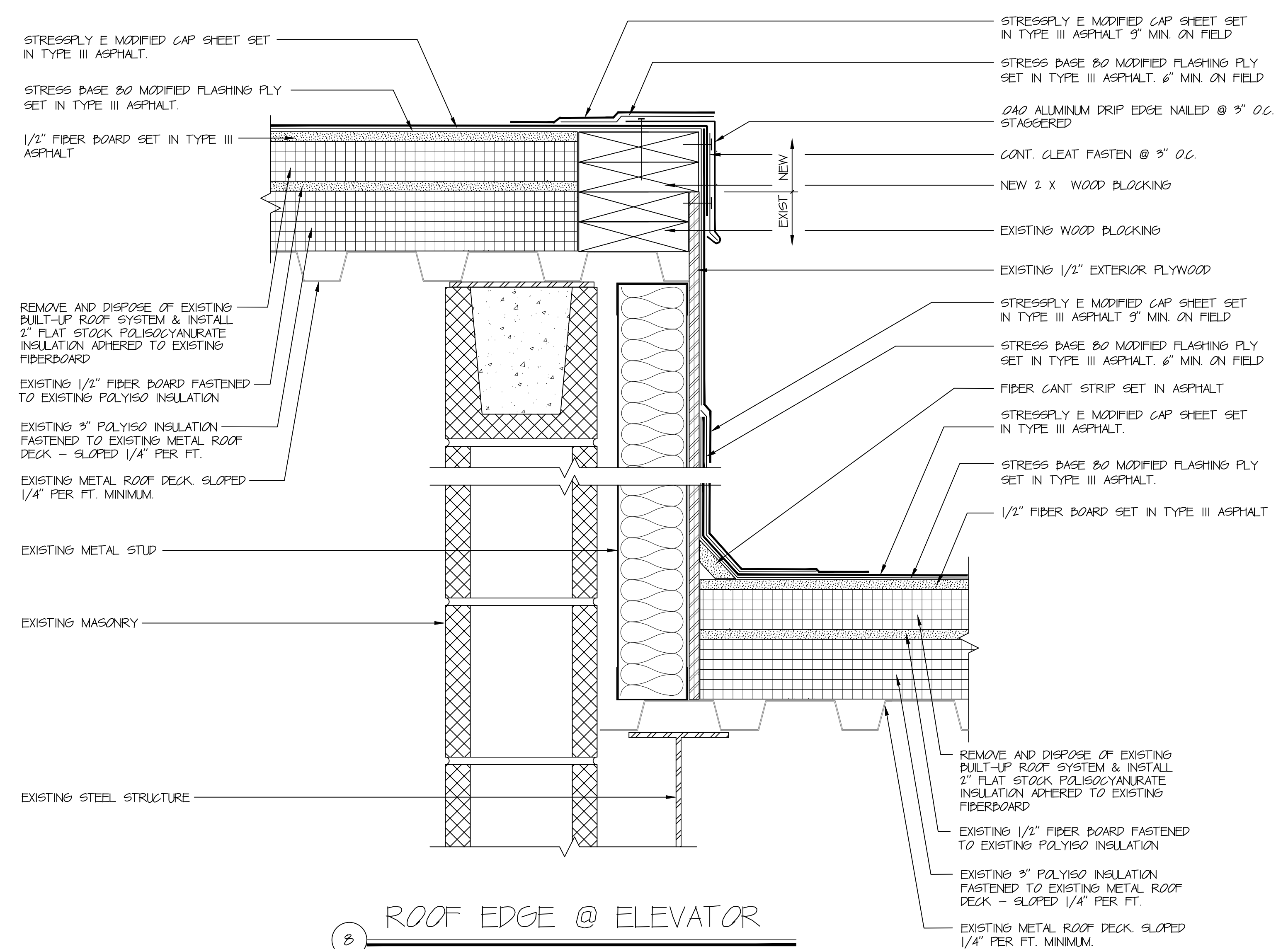
5 ROOF EDGE/FASCIA DETAIL
3" = 1'-0"



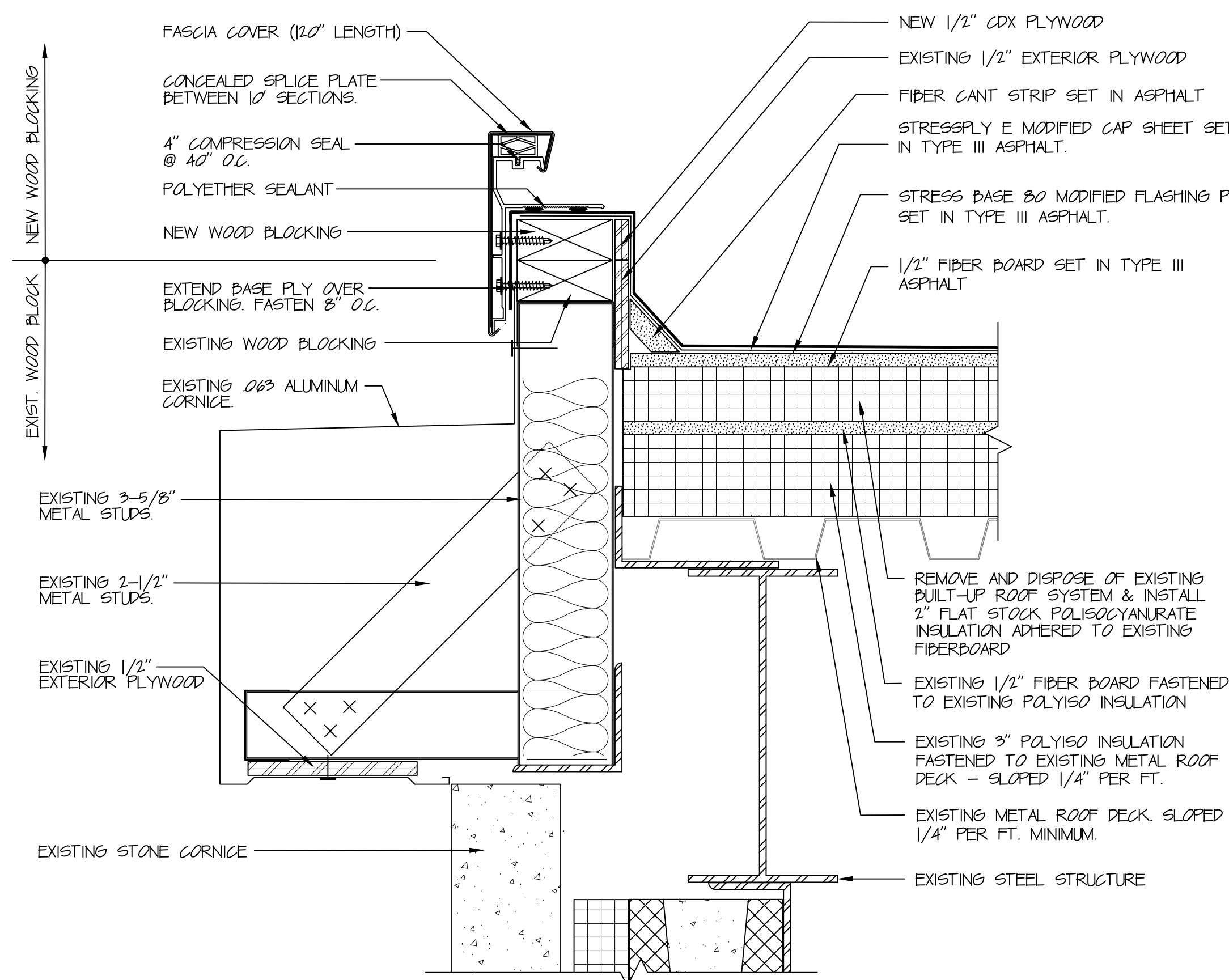
6 ROOF EDGE/FASCIA DETAIL
3" = 1'-0"



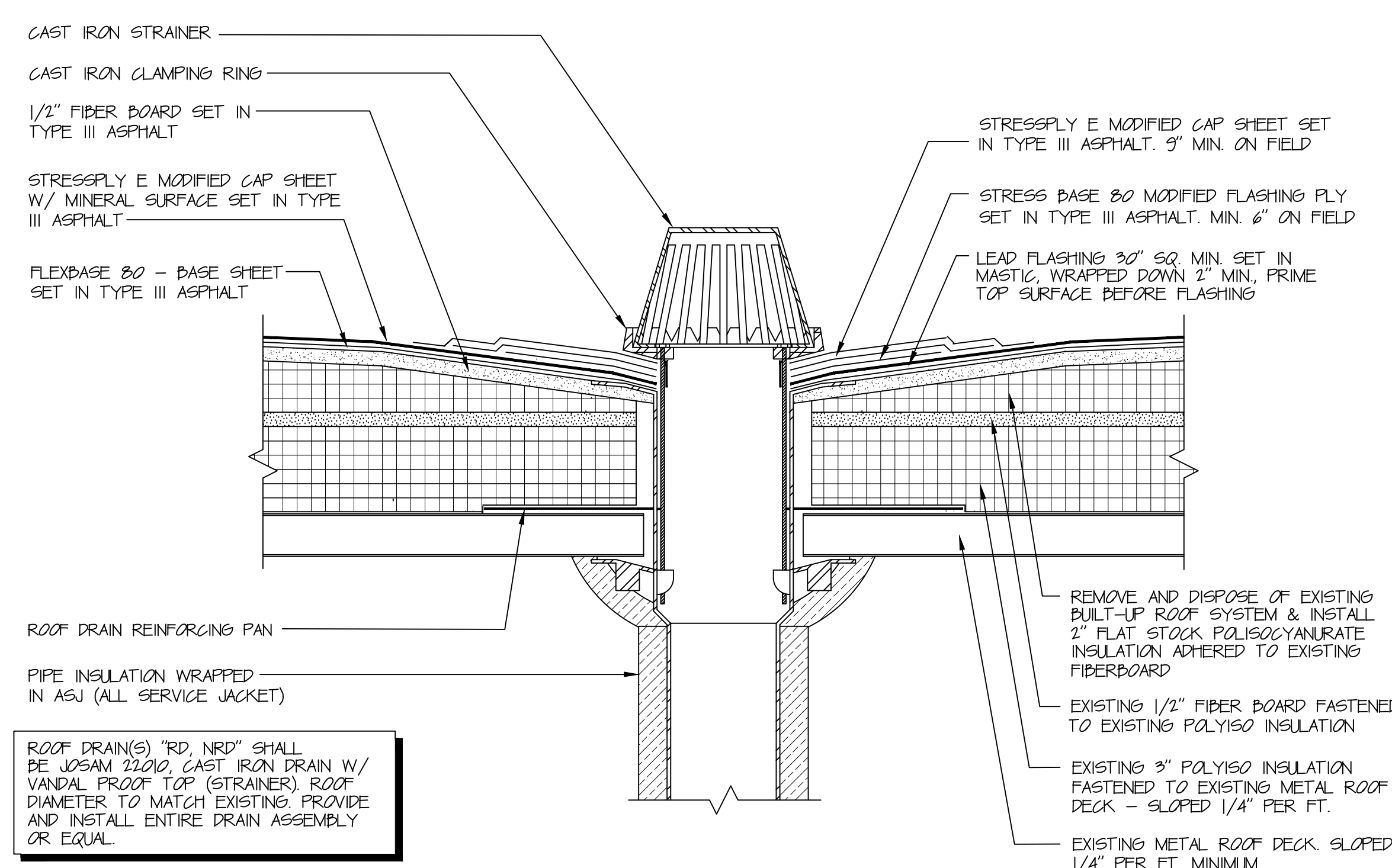
7 ROOF EDGE/FASCIA DETAIL
3" = 1'-0"



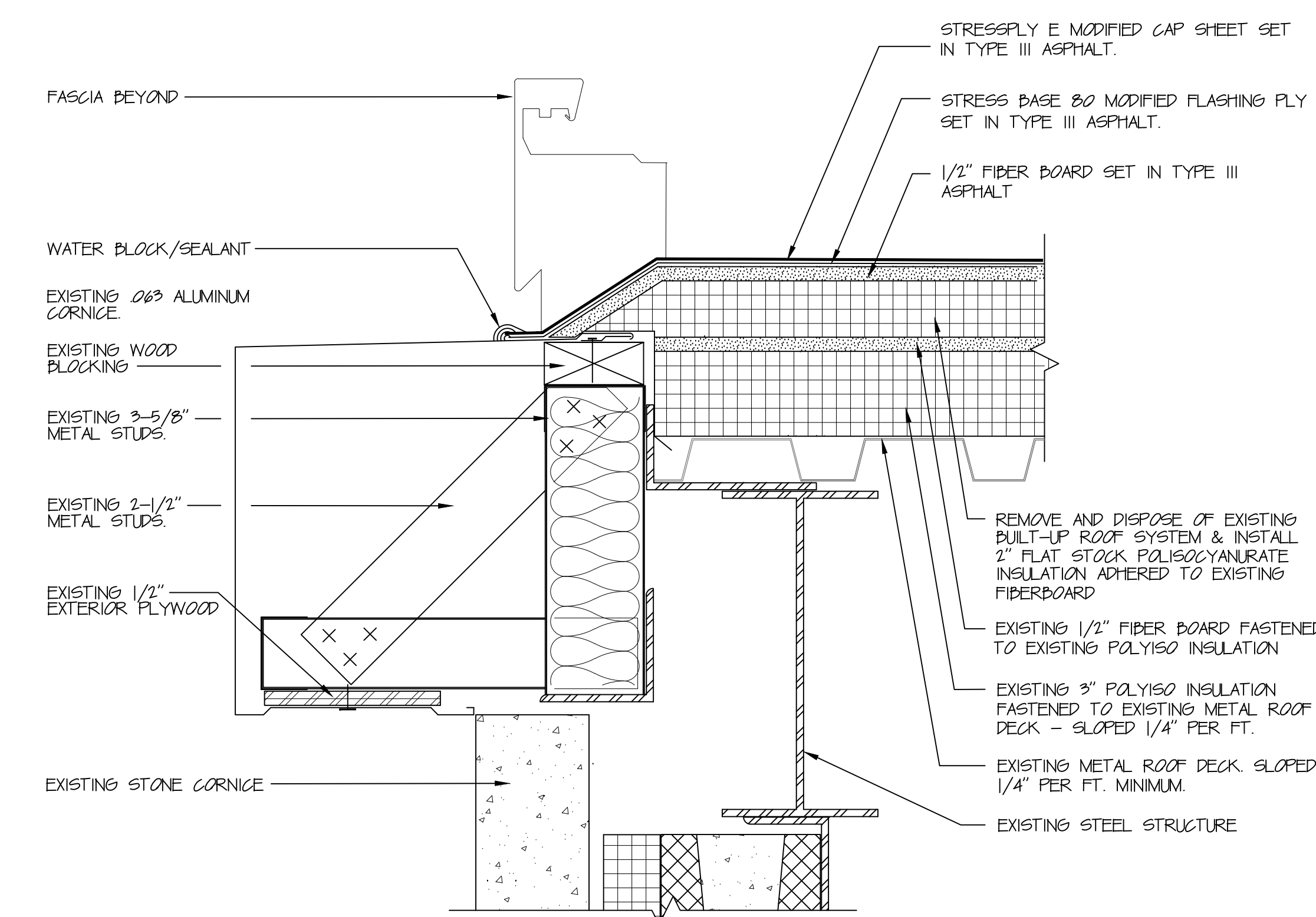
8 ROOF EDGE @ ELEVATOR
3" = 1'-0"



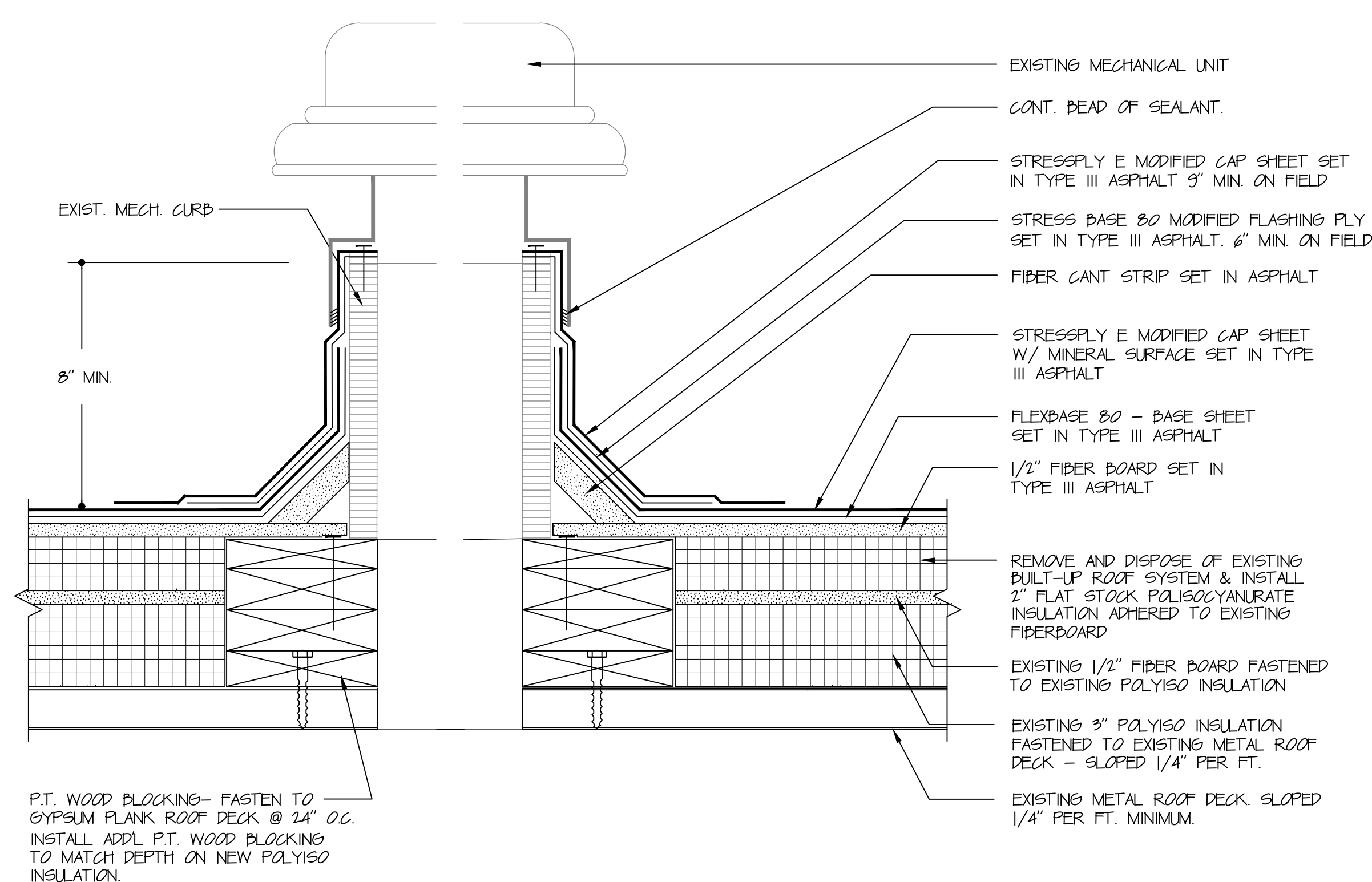
1 ROOF EDGE/FASCIA DETAIL
5' = 1'-0"



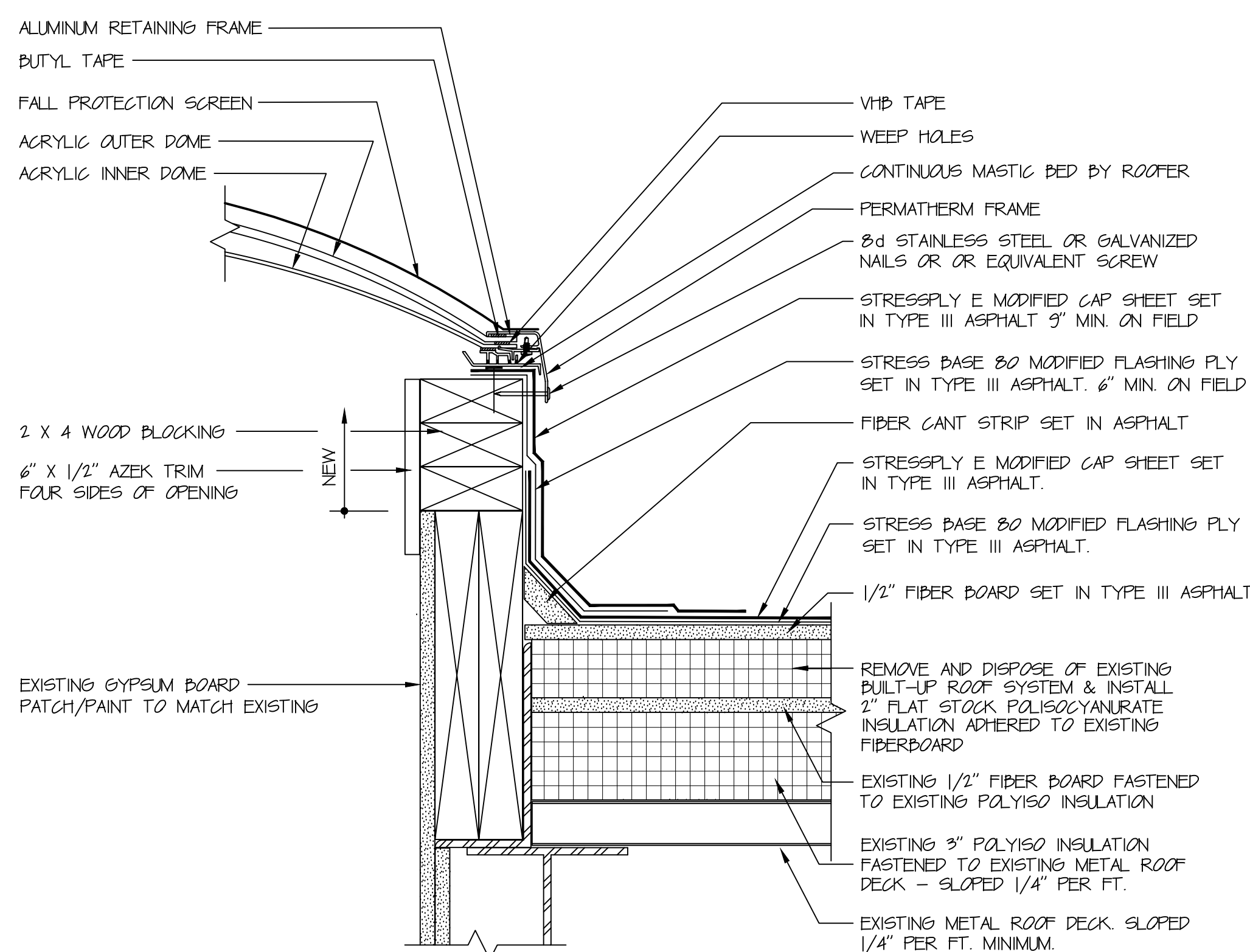
2 ROOF DRAIN @ METAL ROOF DECK
5' = 1'-0"



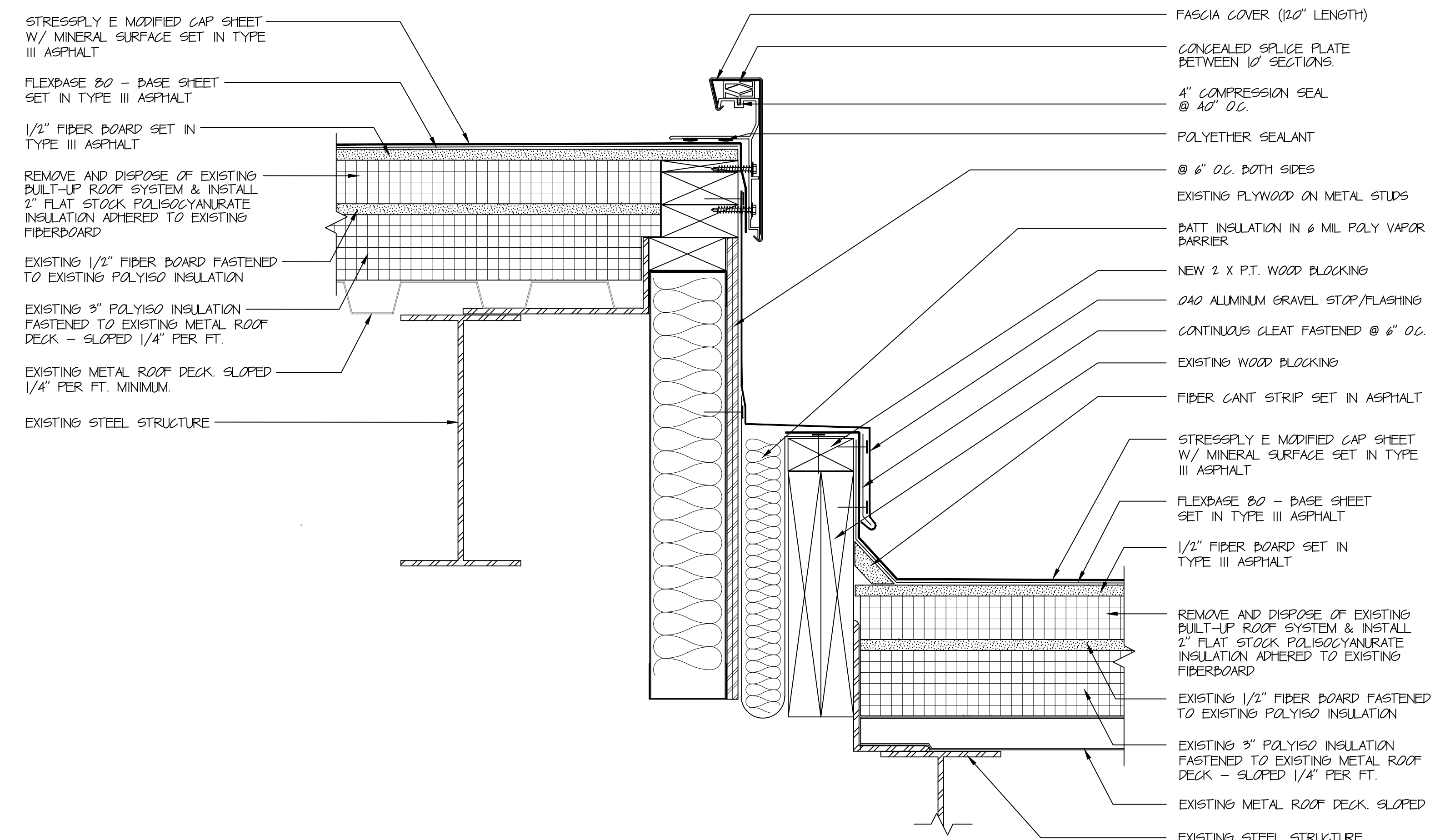
3 OVERFLOW SCUPPER
5' = 1'-0"



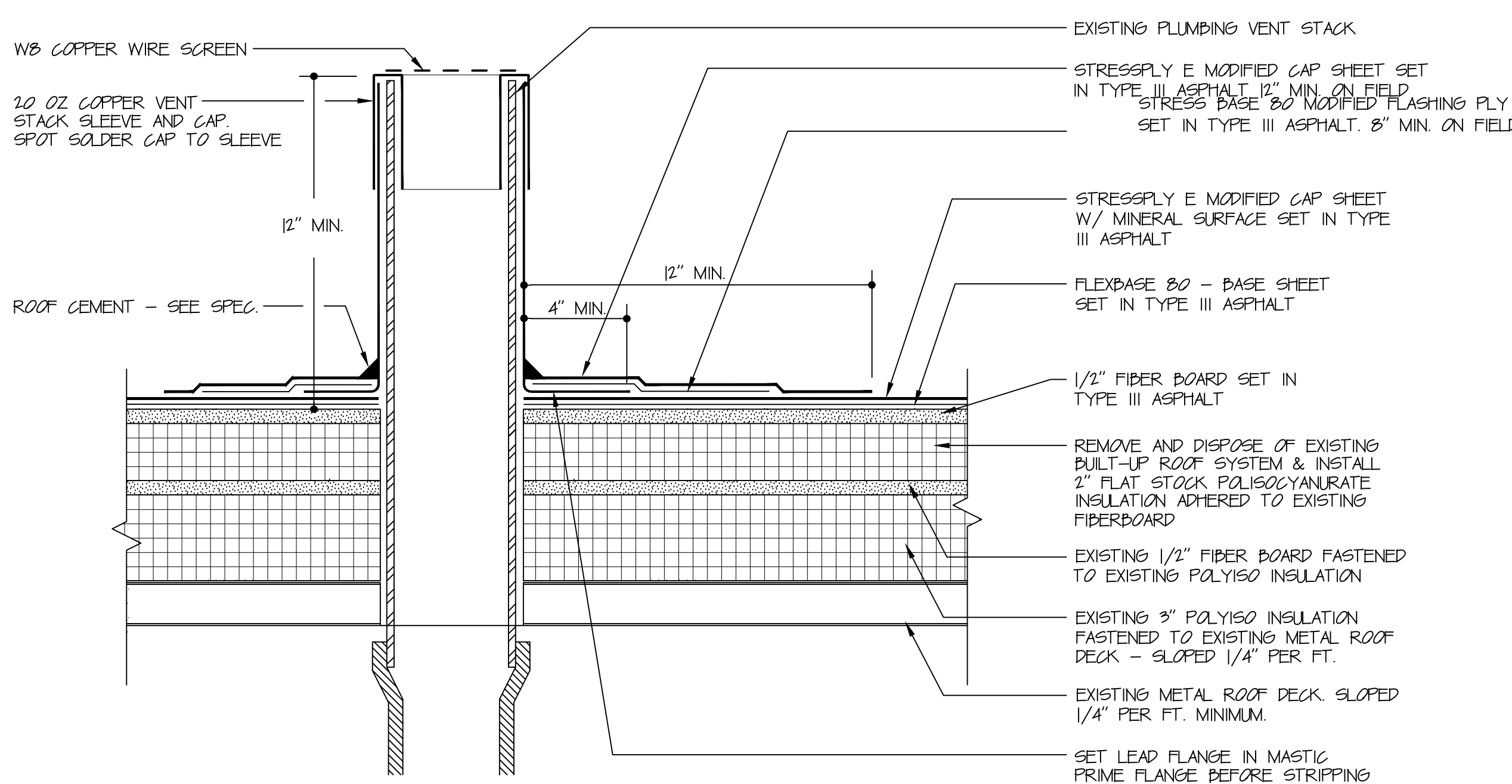
4 MECHANICAL CURB DETAIL
5' = 1'-0"



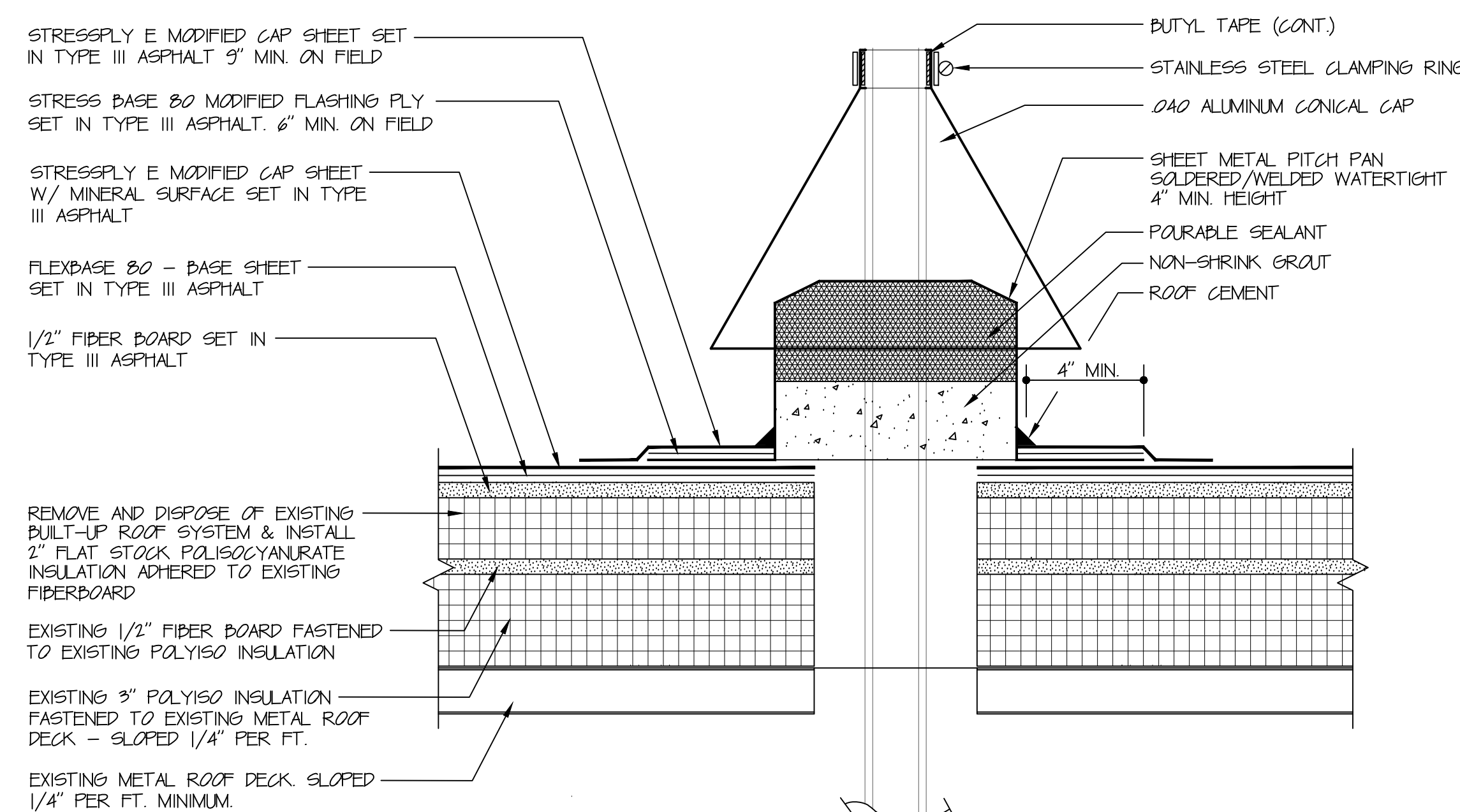
5 SKYLIGHT DETAIL
5' = 1'-0"



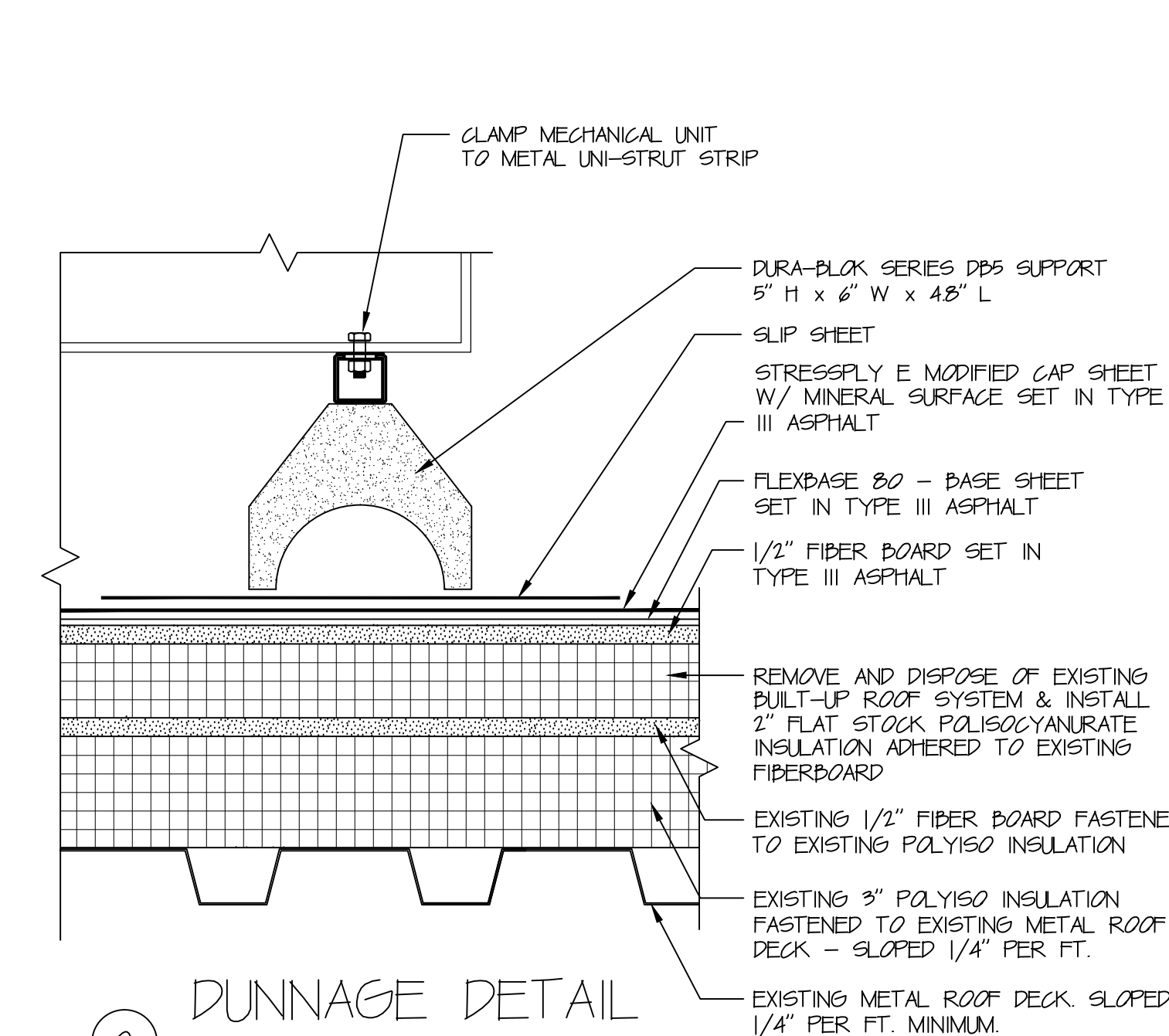
6 EXPANSION JOINT
5' = 1'-0"



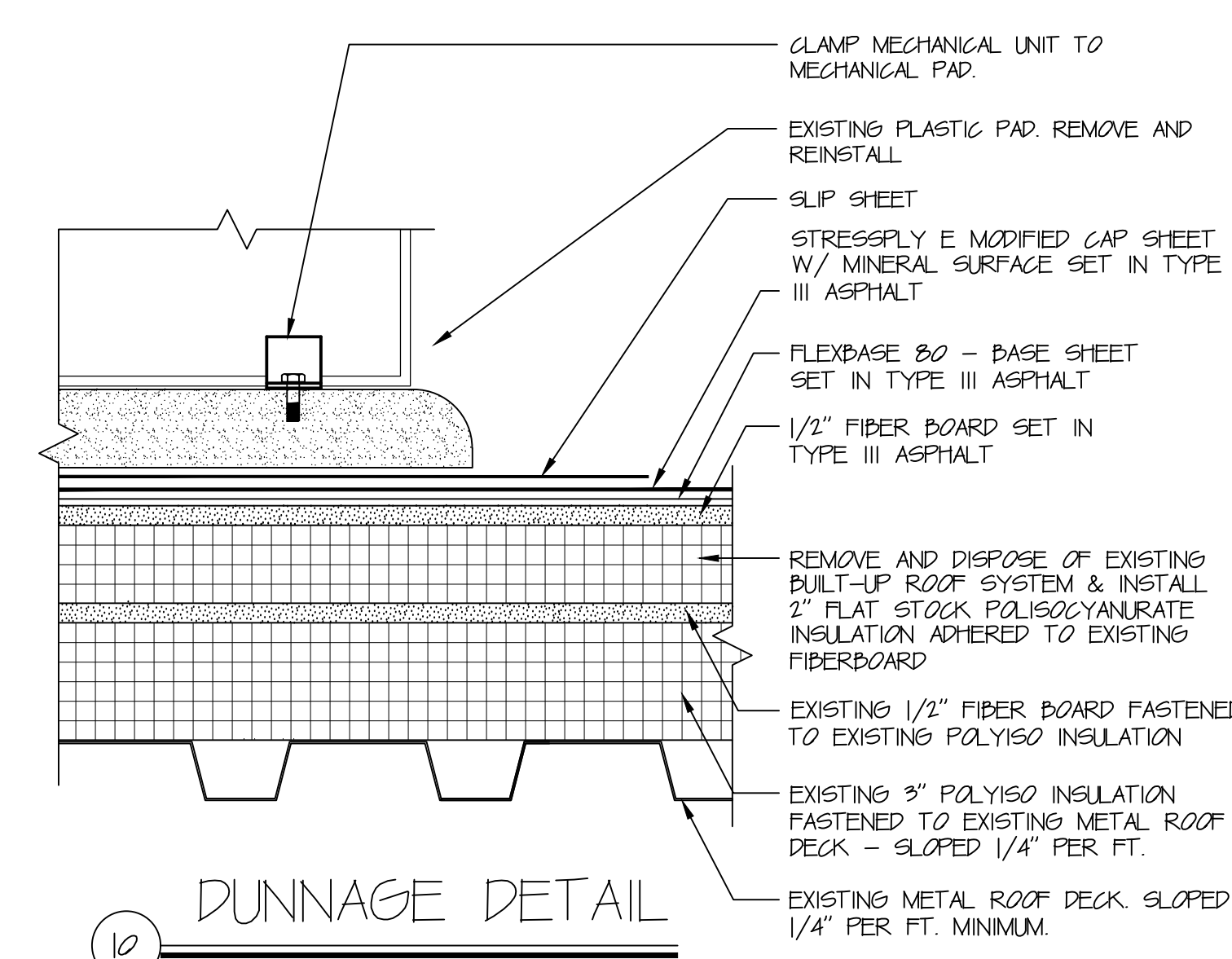
7 PLUMBING VENT
5' = 1'-0"



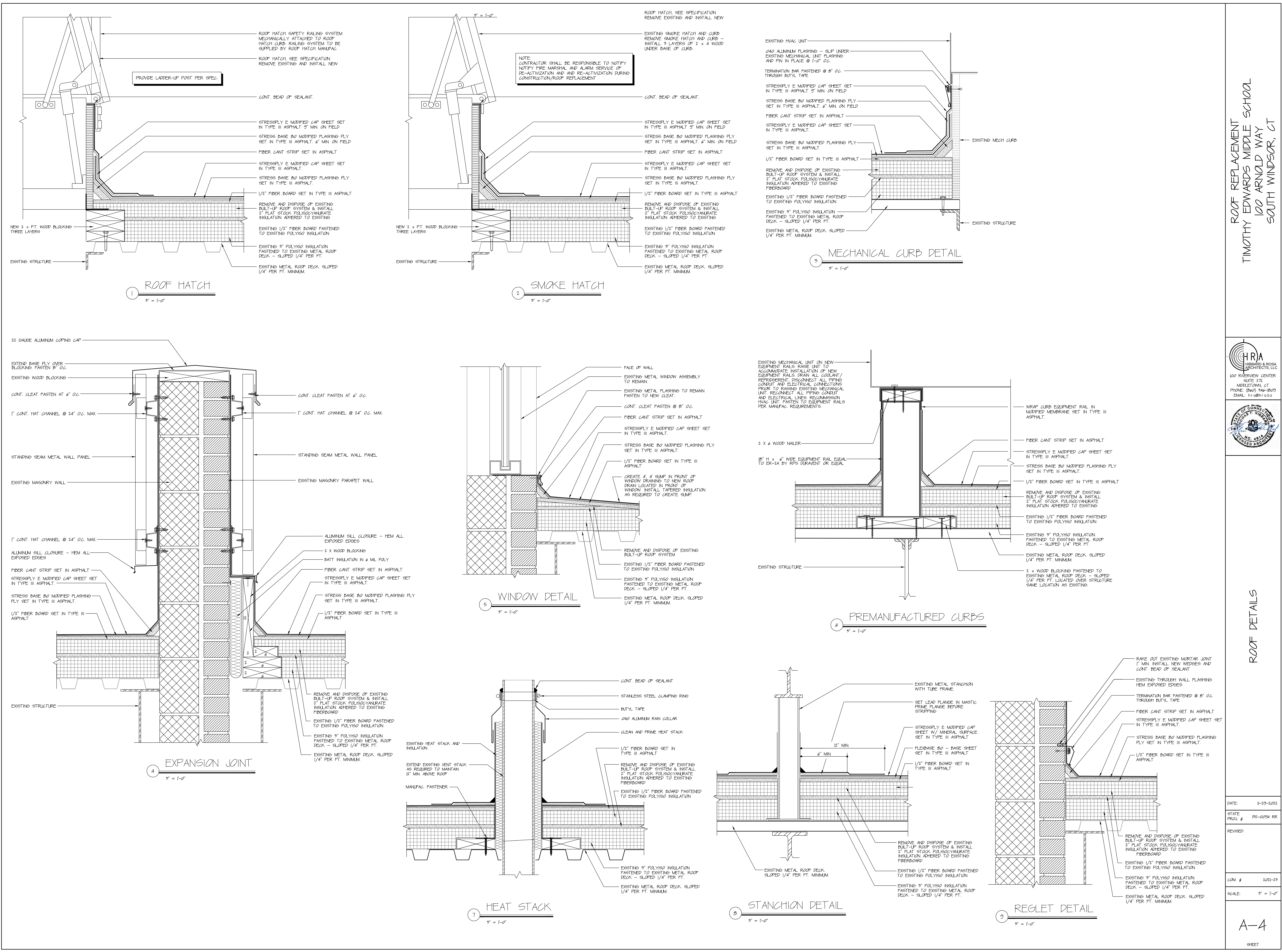
8 PITCH POCKET
5' = 1'-0"



9 DUNNAGE DETAIL
5' = 1'-0"



10 DUNNAGE DETAIL
5' = 1'-0"



ROOF REPLACEMENT
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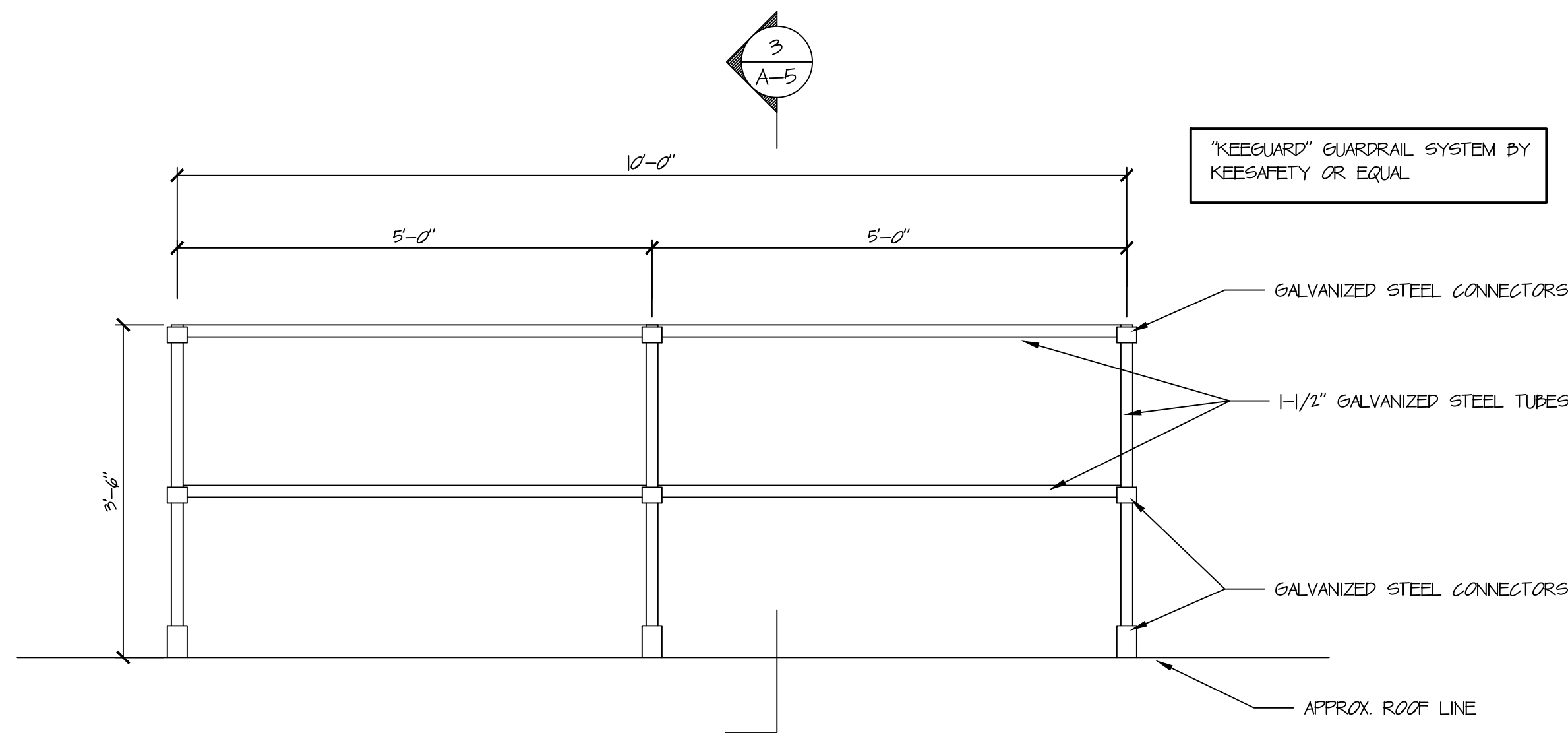


ROOF DETAILS

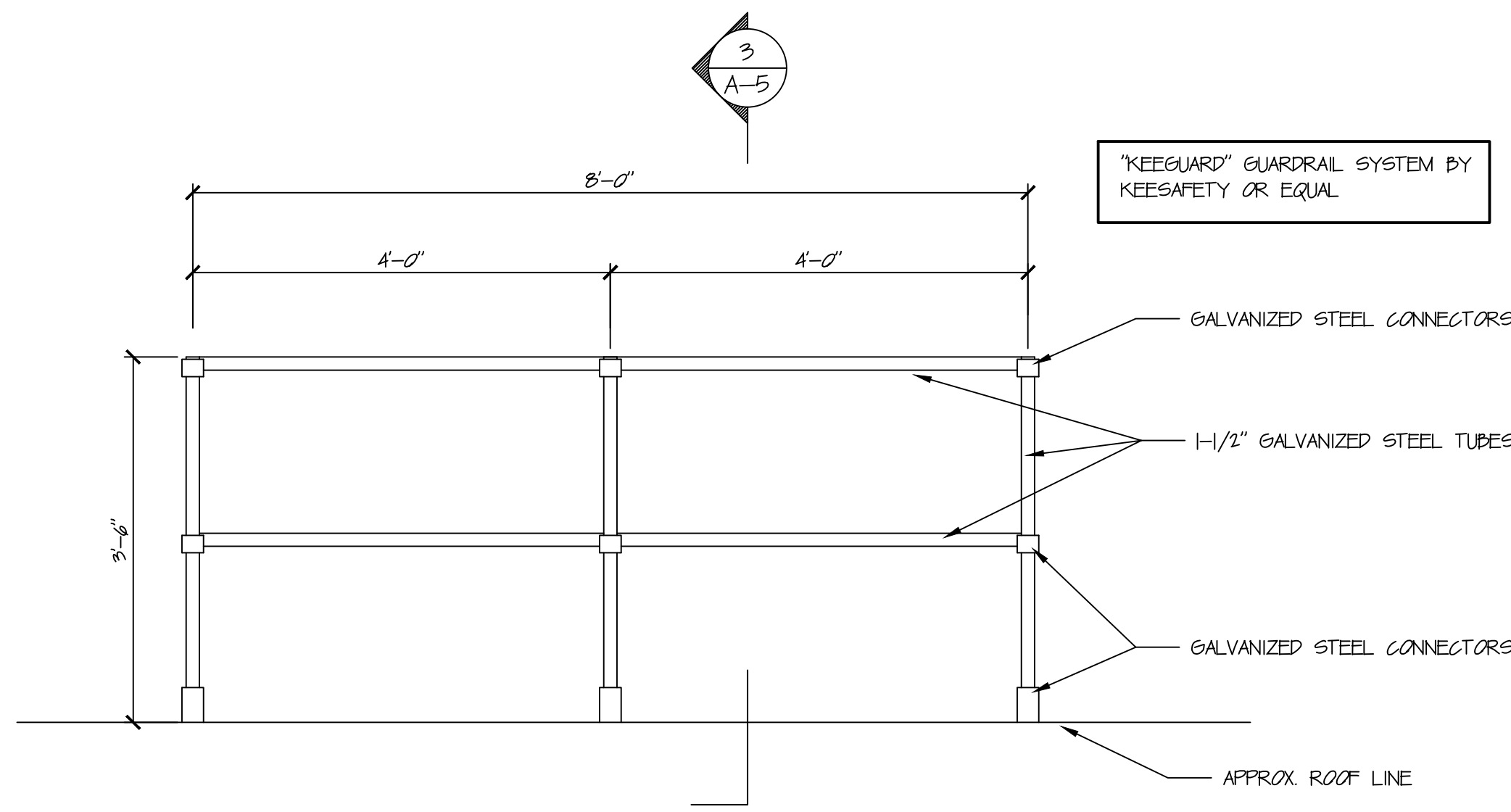
DATE:	11-29-2022
STATE PROJ #	DS-0034 RR
REVISED:	
CON #	2021-23
SCALE:	5" = 1'-0"

A-4

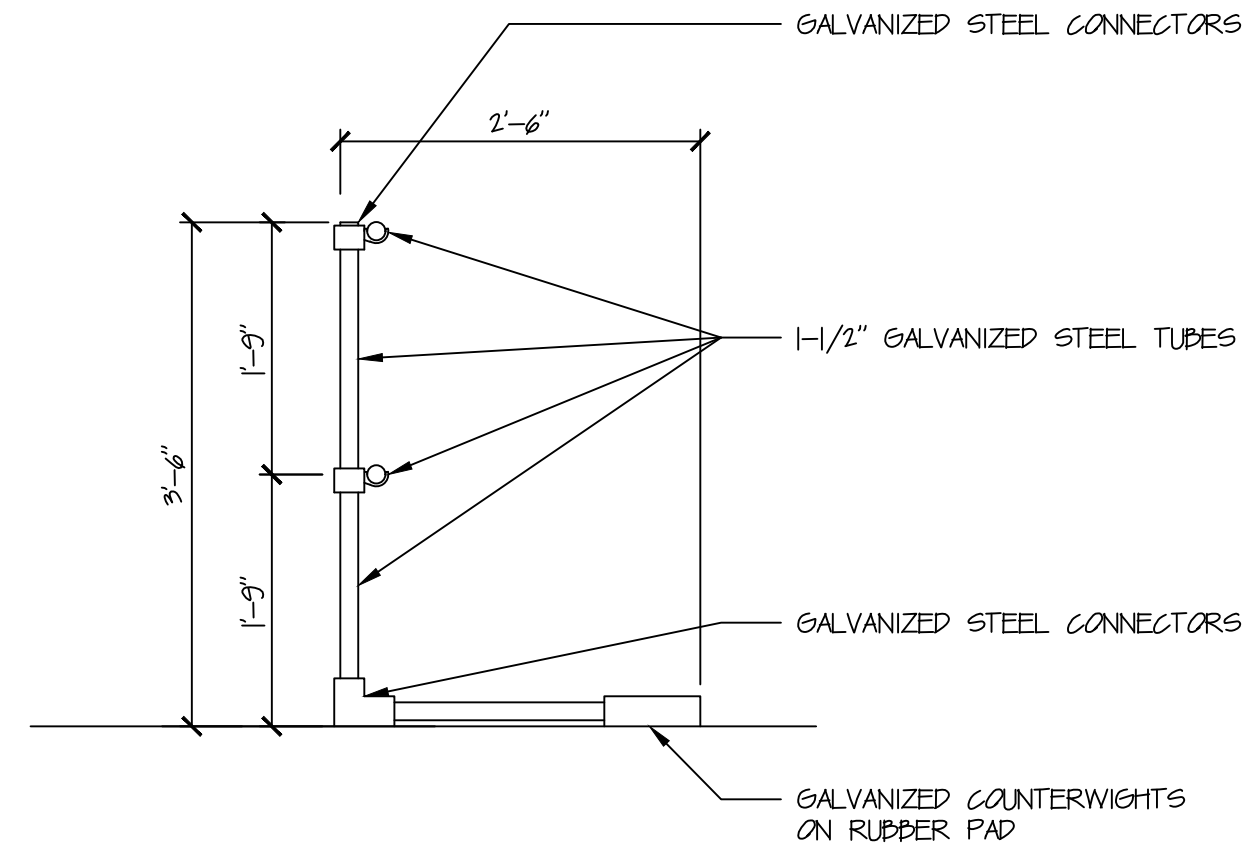
SHEET



1 GUARDRAIL ELEVATION
3/4" = 1'-0"



2 GUARDRAIL ELEVATION
3/4" = 1'-0"



3 GUARDRAIL SECTION
3/4" = 1'-0"

ROOF REPLACEMENT
TIMOTHY EDWARDS MIDDLE SCHOOL
100 ARNOLD WAY
SOUTH WINDSOR, CT

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EMAIL: hrra@hrra.biz



ROOF DETAILS

DATE: 11-29-2012
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REVISED:
COM # 2012-23
SCALE: 3/4" = 1'-0"

A-5
SHEET